

CHT Architects Pty Ltd  
ABN 29 108 008 519

Architecture  
Interior Design  
Urban Design

CHT Architects Pty Ltd  
44 Cadell Street  
Collingwood VIC 3066  
Post Office Box 1302  
Collingwood VIC 3066  
Telephone 03 9417 1944  
Facsimile 03 9415 1847  
info@chtarchitects.com.au  
chtarchitects.com.au

Copyright © CHT Architects Pty Ltd.  
The drawings, designs, and specifications and copyright therein are the property of CHT Architects Pty Ltd, and must not be used, copied, or reproduced wholly or in part without the express written permission of CHT Architects Pty Ltd.  
Do not scale drawings. Use given dimensions only.  
Any discrepancy in drawings or specifications shall be referred to CHT Architects Pty Ltd.

Project  
**THE ORCHARDS**  
107 - 111 ANDERSONS CREEK ROAD, DONCASTER EAST

Client  
**BAPT CARE**

PLANNING AND ENVIRONMENT ACT 1987  
MANNINGHAM PLANNING SCHEME  
ADVERTISED PLANS  
Planning Application Number: PLN180338  
Date: 08 October 2018  
Sheet 4 of 48

This document is made available for the sole purpose of enabling its consideration and review.  
Amended as part of a planning process under the Planning and Environment Act 1987.  
No. **1** This document must not be used for any purpose which may breach a planning instrument.  
P1 09/02/2018 TOWN PLANNING SUBMISSION  
P2 11/09/2018 TOWN PLANNING SUBMISSION  
P3 11/09/2018 TOWN PLANNING SUBMISSION  
P4 29/05/2018 TOWN PLANNING SUBMISSION

Sheet  
**PRELIMINARY**  
TP

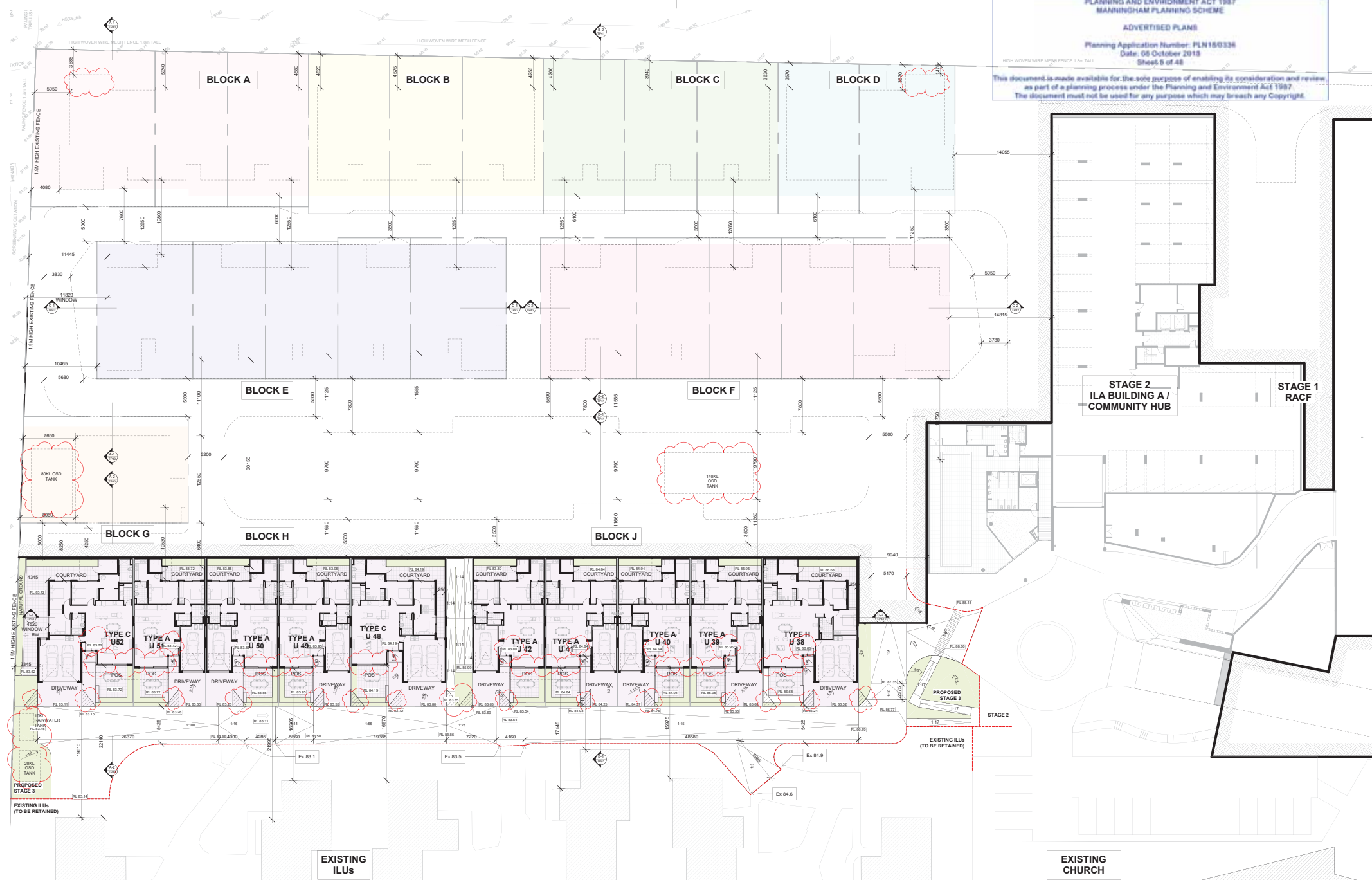
Scale  
1 : 333@A1

Date  
23/05/2018

Sheet No.  
**TP11**

Revision  
**P4**

12001



EXISTING CHURCH

NOTE: ALL LANDSCAPING TO BE WATER EFFICIENT



**CHT Architects Pty Ltd**  
 44 Cadogan Street  
 Collingwood VIC 3066  
 Post Office Box 1302  
 Collingwood VIC 3066

Telephone 03 9417 1944  
 Facsimile 03 9415 1847

info@chtarchitects.com.au  
 chtarchitects.com.au

Copyright © CHT Architects Pty Ltd.  
 The drawings, designs, and specifications and copyright therein are the property of CHT Architects Pty Ltd, and must not be used, copied, or reproduced wholly or in part without the express written permission of CHT Architects Pty Ltd.

Do not scale drawings. Use given dimensions only.  
 Any discrepancy in drawings or specifications shall be referred to CHT Architects Pty Ltd.

**Project**  
**THE ORCHARDS**  
 107 - 111 ANDERSONS CREEK ROAD, DONCASTER EAST

**Client**  
 BAPTICARE

Amendments	
No.	Date
01	06/09/2018
02	06/09/2018
03	11/09/2018
04	20/09/2018
05	24/09/2018

**Title**  
 STAGE 3 - OVERALL SITE PLAN - LOWER GROUND

**Sheet**  
 PRELIMINARY  
 TP

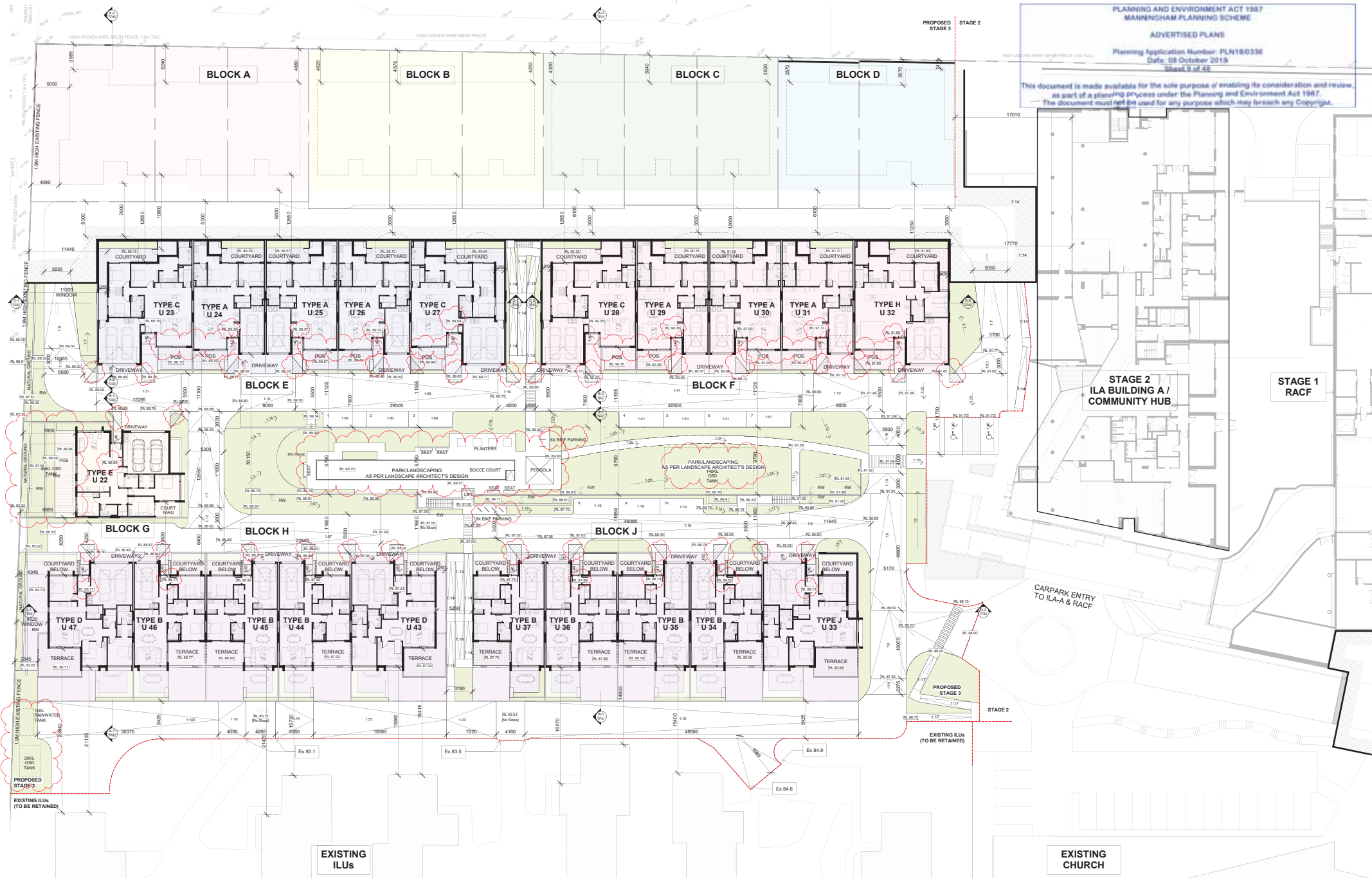
**Sheet No.**  
 TP20

**Scale**  
 1:250@A1

**Date**  
 24/09/2018

**Revision**  
 P5

**12001**



NOTE: ALL LANDSCAPING TO BE WATER EFFICIENT



CHT Architects Pty Ltd  
 44 Colindale Street  
 Colindale VIC 3066  
 Post Office Box 1302  
 Colindale VIC 3066  
 Telephone 03 9417 1944  
 Facsimile 03 9415 1847  
 info@chtarchitects.com.au  
 chtarchitects.com.au

Copyright © CHT Architects Pty Ltd.  
 The drawings, designs, and specifications and copyright therein are the property of CHT Architects Pty Ltd, and must not be used, copied, or reproduced wholly or in part without the express written permission of CHT Architects Pty Ltd.  
 Do not scale drawings. Use given dimensions only.  
 Any discrepancy in drawings or specifications shall be referred to CHT Architects Pty Ltd.

Project  
**THE ORCHARDS**  
 107 - 111 ANDERSONS CREEK ROAD, DONCASTER EAST

Client  
**BAPTICARE**

No.	Date	Notes
01	06/04/2018	TOWN PLANNING SUBMISSION
02	06/05/2018	MASTER PLAN UPDATE
03	11/05/2018	TOWN PLANNING SUBMISSION
04	23/05/2018	TOWN PLANNING SUBMISSION
05	24/05/2018	TOWN PLANNING - COUNCIL RESPONSE

Title  
**STAGE 3 - OVERALL SITE PLAN - UPPER GROUND**

Sheet  
**PRELIMINARY TP**

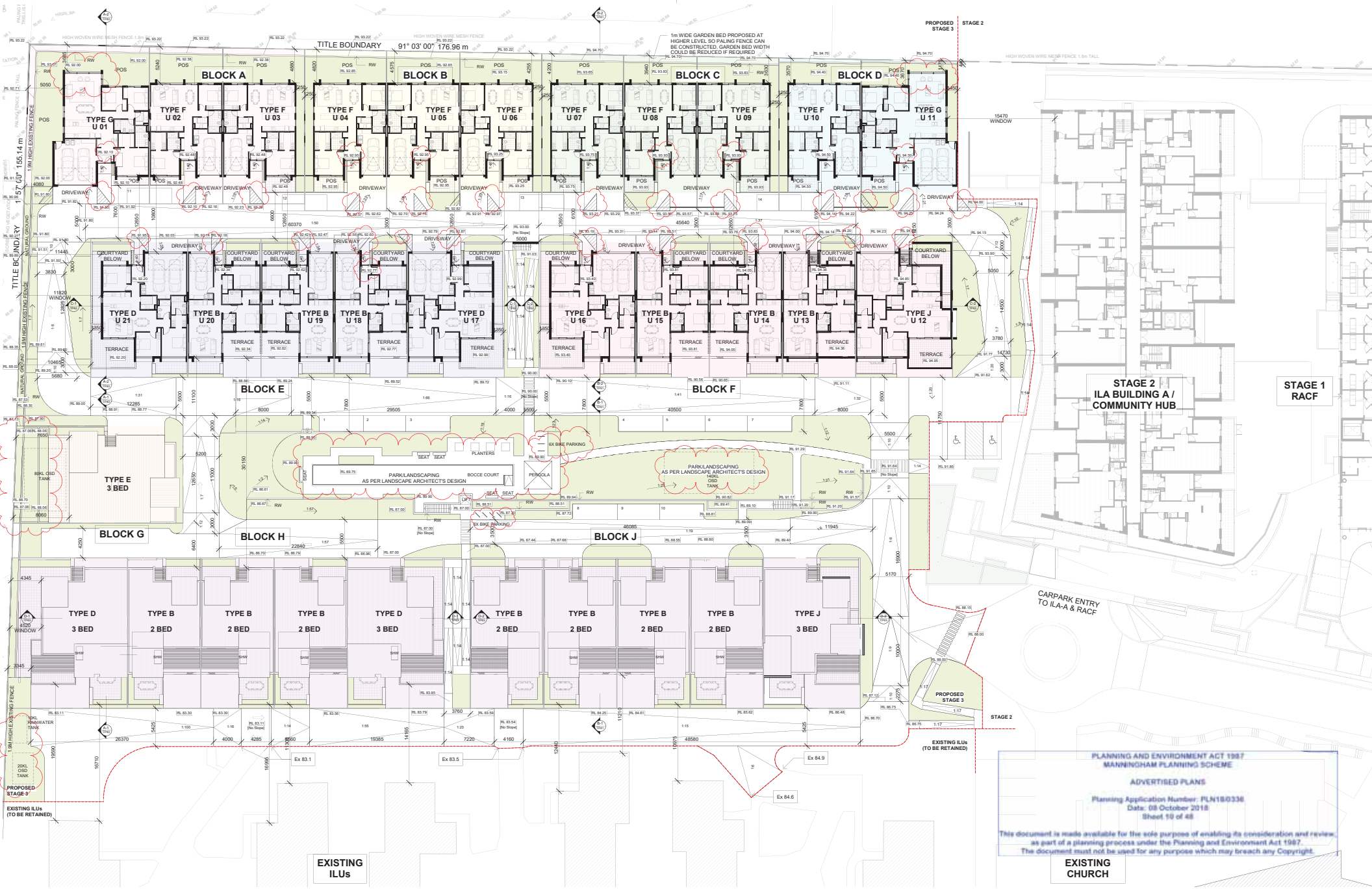
Sheet No.  
**TP21**

Scale  
 1:250@A1

Date  
 24/09/2018

Revision  
**P5**

12001



PLANNING AND ENVIRONMENT ACT 1987  
MANNINGHAM PLANNING SCHEME

ADVERTISED PLANS  
Planning Application Number: PLN180336  
Date: 08 October 2018  
Sheet 10 of 48

This document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any Copyright.

EXISTING CHURCH

NOTE: ALL LANDSCAPING TO BE WATER EFFICIENT



CHT Architects Pty Ltd  
44 Oxford Street  
Collingwood VIC 3066  
Post Office Box 1302  
Collingwood VIC 3066

Telephone 03 9417 1944  
Facsimile 03 9415 1847

info@chtarchitects.com.au  
chtarchitects.com.au

Copyright © CHT Architects Pty Ltd.  
The drawings, designs, and specifications and copyright therein are the property of CHT Architects Pty Ltd, and must not be used, copied or reproduced wholly or in part without the express written permission of CHT Architects Pty Ltd.

Do not scale drawings. Use given dimensions only.  
Any discrepancy in drawings or specifications shall be referred to CHT Architects Pty Ltd.

Project  
**THE ORCHARDS**  
107 - 111 ANDERSONS CREEK ROAD, DONCASTER EAST

Client  
**BAPT CARE**

Amendments	No.	Date	Notes
	01	06/09/2018	TOWN PLANNING SUBMISSION
	02	06/09/2018	MASTER PLAN UPDATE
	03	11/09/2018	TOWN PLANNING SUBMISSION
	04	20/09/2018	TOWN PLANNING SUBMISSION
	05	24/09/2018	TOWN PLANNING - COUNCIL NOT RESPONDED

Title  
**STAGE 3 - OVERALL SITE PLAN - LEVEL 1**

Sheet  
**PRELIMINARY TP**

Sheet No.  
**TP22**

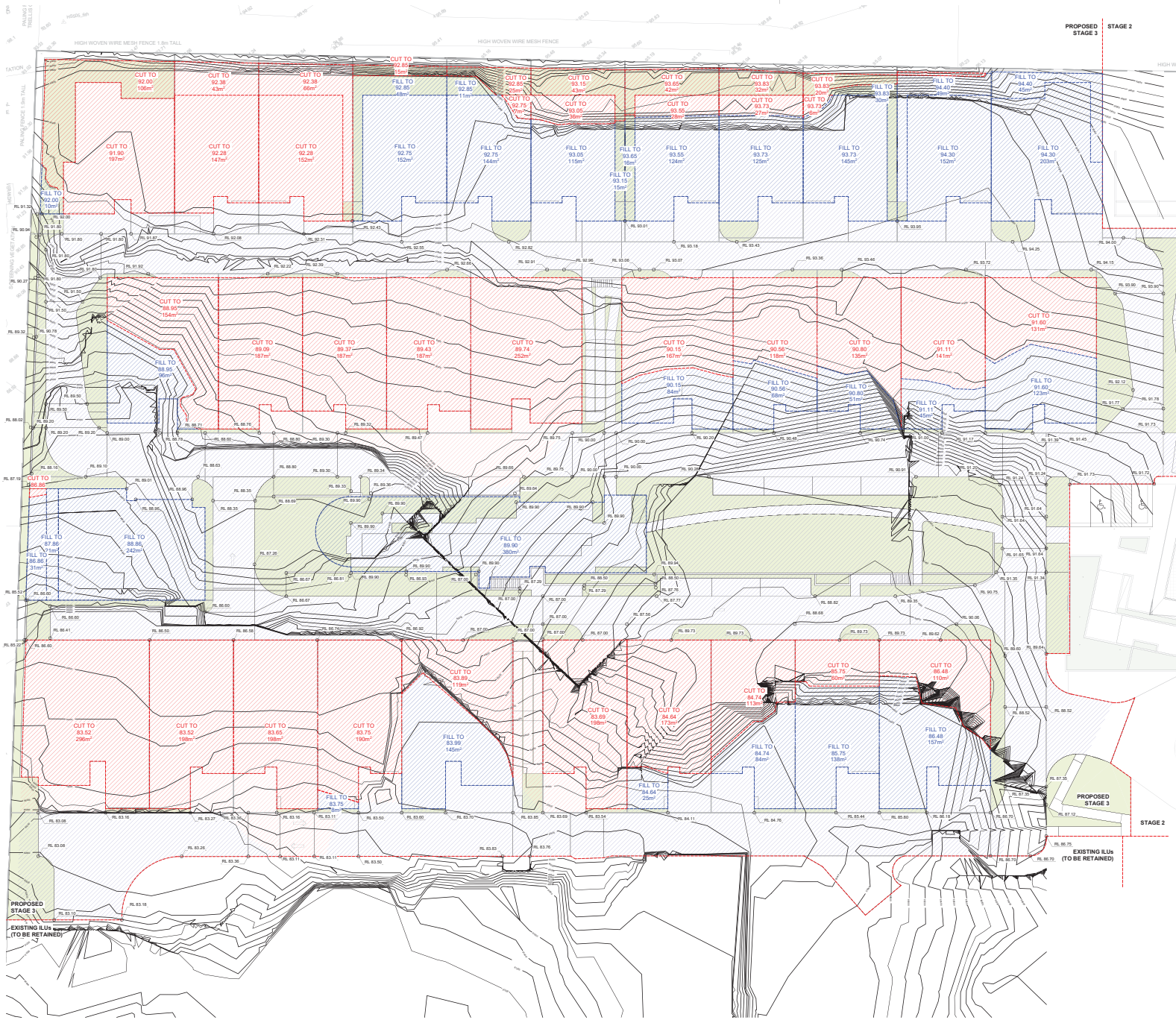
Scale  
1:250@A1

Date  
24/09/2018

Revision  
**P5**



12001 - 21/09/2018 5:22:54 PM



PLANNING AND ENVIRONMENT ACT 1987  
 MANNINGHAM PLANNING SCHEME  
 ADVERTISED PLANS  
 Planning Application Number: P/N180336  
 Date: 26 October 2018  
 Sheet 11 of 48

This document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. It is not to be used for any other purpose which may breach any Copyright.



- EXTERNAL AREA CUT - TOTAL 491m<sup>2</sup>
- EXTERNAL AREA FILL - TOTAL 5579m<sup>2</sup>
- BUILDING/POS AREA CUT - TOTAL 4306m<sup>2</sup>
- BUILDING/POS AREA FILL - TOTAL 3082m<sup>2</sup>



CHT Architects Pty Ltd  
 44 Coburn Street  
 Colerong VIC 3086  
 Post Office Box 1302  
 Colerong VIC 3086  
 Telephone 03 9417 1944  
 Facsimile 03 9415 1847  
 info@chtarchitects.com.au  
 chtarchitects.com.au

Copyright © CHT Architects Pty Ltd.  
 The drawings, designs, and specifications and copyright therein are the property of CHT Architects Pty Ltd, and must not be used, copied or reproduced wholly or in part without the express written permission of CHT Architects Pty Ltd.  
 Do not scale drawings. Use given dimensions only.  
 Any discrepancy in drawings or specifications shall be referred to CHT Architects Pty Ltd.

Project  
**THE ORCHARDS**  
 107 - 111 ANDERSONS CREEK ROAD, DONCASTER EAST

Client  
**BAPT CARE**

Amendments		Notes	
No.	Date		
PS	24/09/2018	TOWN PLANNING - COUNCIL RPT RESPONSE	

Title  
**STAGE 3 - EARTHWORKS PLAN**

Sheet No.  
**TP23**

Revision  
**P5**

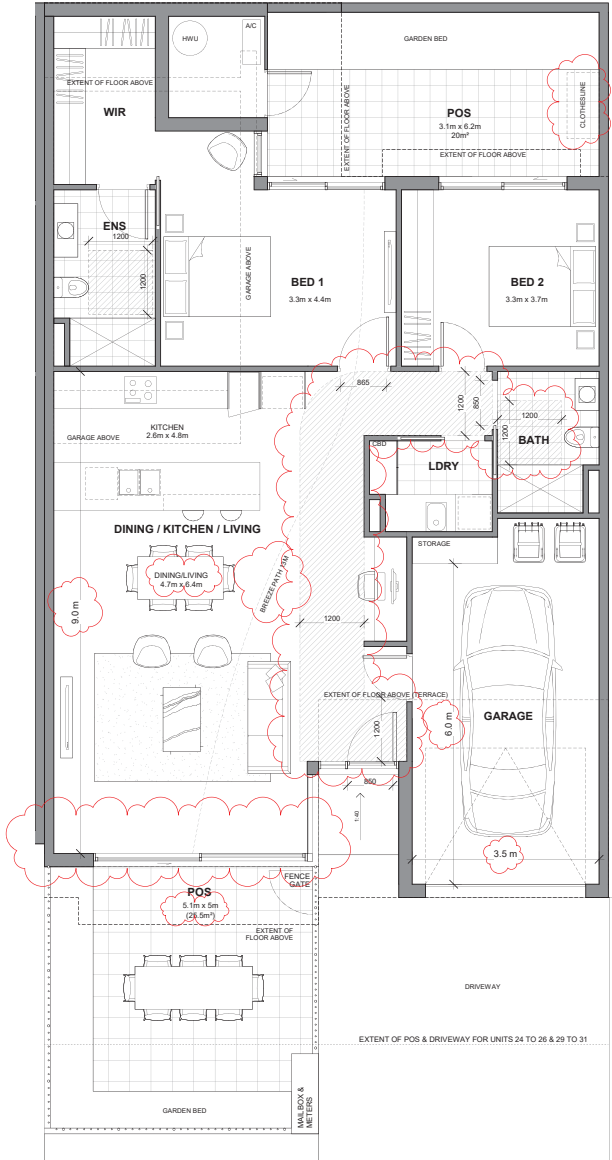
Scale  
 1:250@A1

Date  
 24/09/2018

Sheet  
 PRELIMINARY  
 TP

12001

Drawn by: AutoChecked by: Checker



1 UNIT TYPE A - 2 BED LOWER  
SCALE 1 : 50

<b>TYPE A - AREAS</b>	
GROSS INTERNAL AREA	119
GARAGE	26
GROSS TOTAL AREA	145
EXTERNAL STORE	4
COURTYARD / TERRACE / BALCONY	41-50

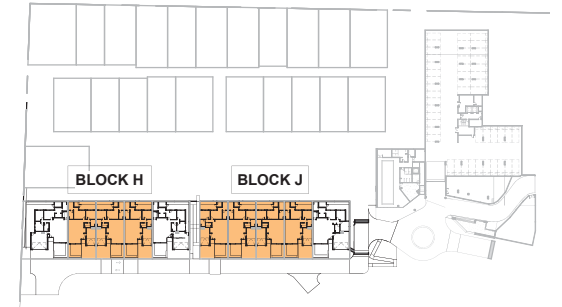
TOTAL NUMBER OF ILU TYPE A	13
----------------------------	----

**TYPE A STORAGE SCHEDULE**

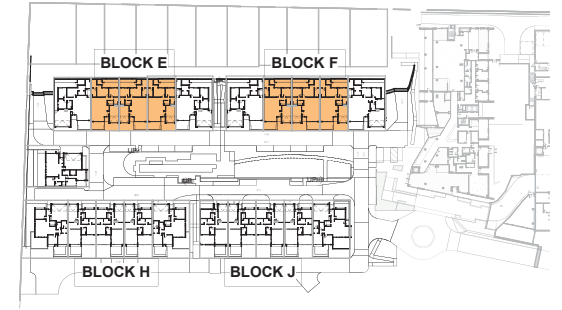
GARAGE STORAGE	2 m <sup>3</sup>
KITCHEN & PANTRY	6 m <sup>3</sup>
LAUNDRY	1 m <sup>3</sup>
ROBES	11 m <sup>3</sup>
TOTAL STORAGE	21 m <sup>3</sup>

PLANNING AND ENVIRONMENT ACT 1987  
MANNINGHAM PLANNING SCHEME  
ADVERTISED PLANS  
Planning Application Number: PLN180336  
Date: 08 October 2018  
Sheet 12 of 48

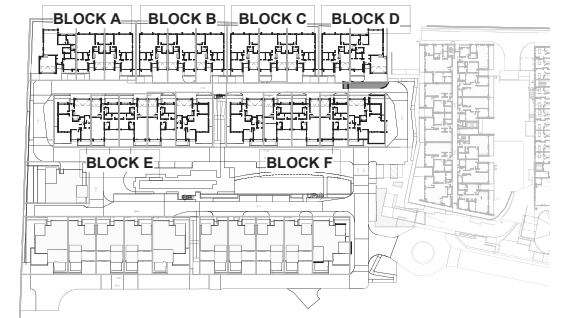
This document is made available for the sole purpose of enabling its consideration and review, as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any Copyright.



2 KEY PLAN - OVERALL - LOWER GROUND - TYPE A  
SCALE 1 : 1000



3 KEY PLAN - OVERALL - UPPER GROUND - TYPE A  
SCALE 1 : 1000



4 KEY PLAN - OVERALL - LEVEL 1 - TYPE A  
SCALE 1 : 1000



**CHT Architects Pty Ltd**  
44 Cadell Street  
Collingwood VIC 3066  
Post Office Box 1302  
Collingwood VIC 3066

Telephone 03 9417 1944  
Facsimile 03 9415 1847

info@CHTArchitects.com.au  
cht@architects.com.au

Copyright © CHT Architects Pty Ltd.  
The drawings, designs, and specifications and copyright therein are the property of CHT Architects Pty Ltd, and must not be used, copied, or reproduced wholly or in part without the express written permission of CHT Architects Pty Ltd.

Do not scale drawings. Use given dimensions only.  
Any discrepancy in drawings or specifications shall be referred to CHT Architects Pty Ltd.

Project  
**THE ORCHARDS**  
107 - 111 ANDERSONS CREEK ROAD, DONCASTER EAST

Client  
**BAPTICARE**

No.	Date	Notes
P1	06/04/2018	TOWN PLANNING SUBMISSION
P2	11/05/2018	TOWN PLANNING SUBMISSION
P3	24/09/2018	TOWN PLANNING - COUNCIL RESPONSE

Title  
**STAGE 3 - ILU TYPE A - 2 BED LOWER**

Sheet  
**PRELIMINARY TP**

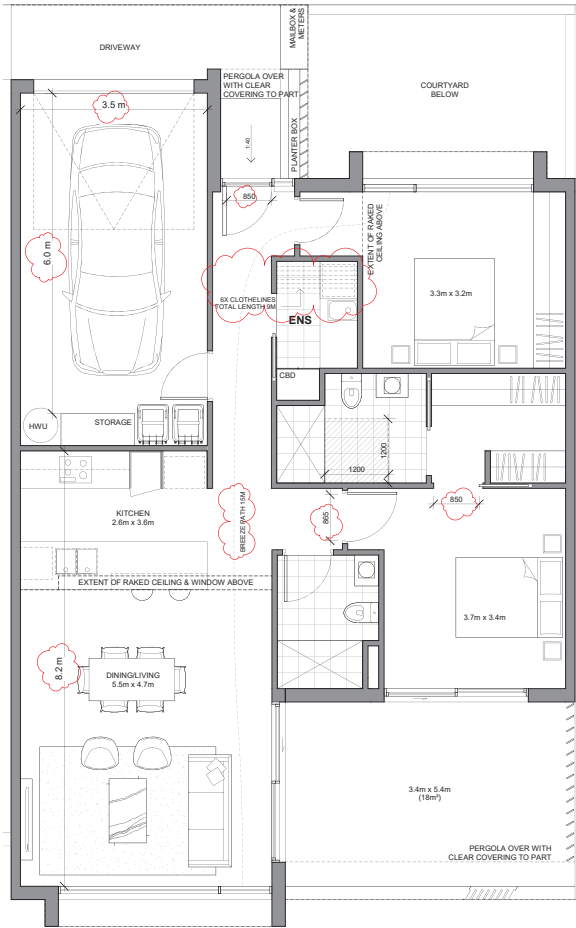
Sheet No.  
**TP30**

Revision  
**P5**

Scale  
**As Indicated@A1**

Date  
**24/09/2018**

**12001**



1 UNIT TYPE B - 2 BED UPPER  
SCALE 1:50

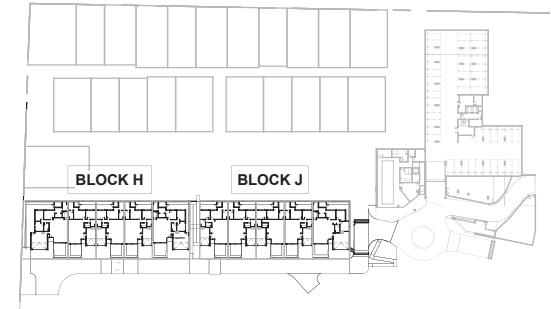
<b>TYPE B - AREAS</b>	
GROSS INTERNAL AREA	104
GARAGE	26
GROSS TOTAL AREA	130
EXTERNAL STORE	-
COURTYARD / TERRACE / BALCONY	20

TOTAL NUMBER OF ILU TYPE B 13

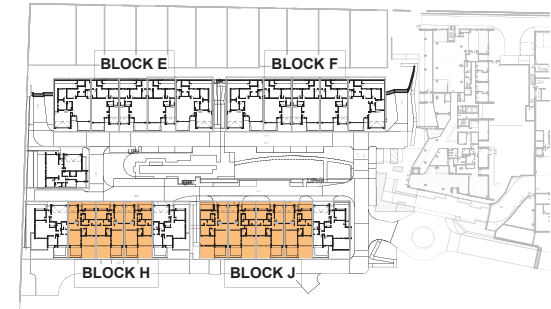
**TYPE B STORAGE SCHEDULE**

GARAGE STORAGE	2 m <sup>3</sup>
KITCHEN & PANTRY	5 m <sup>3</sup>
LAUNDRY	1 m <sup>3</sup>
ROBES	10 m <sup>3</sup>
TOTAL STORAGE	18 m <sup>3</sup>

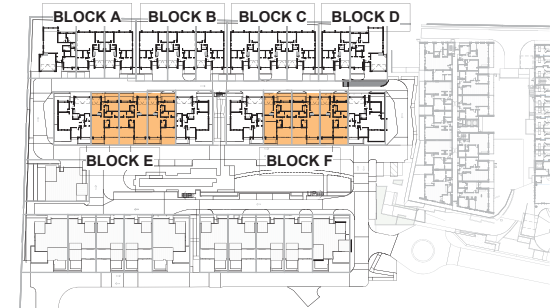
PLANNING AND ENVIRONMENT ACT 1987  
MANNINGHAM PLANNING SCHEME  
ADVERTISED PLANS  
Planning Application Number: PLN18/0336  
Date: 09 October 2018  
Sheet 13 of 48  
This document is made available for the sole purpose of enabling its consideration and review, as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any Copyright.



2 KEY PLAN - OVERALL - LOWER GROUND - TYPE B  
SCALE 1:1000



3 KEY PLAN - OVERALL - UPPER GROUND - TYPE B  
SCALE 1:1000



4 KEY PLAN - OVERALL - LEVEL 1 - TYPE B  
SCALE 1:1000



CHT Architects Pty Ltd  
ABN 29 108 008 518  
Architecture  
Interior Design  
Urban Design

CHT Architects Pty Ltd  
44 Colford Street  
Collingwood VIC 3066  
Post Office Box 1302  
Collingwood VIC 3066  
Telephone 03 9417 1844  
Facsimile 03 9415 1847  
info@chtarchitects.com.au  
chtarchitects.com.au

Copyright © CHT Architects Pty Ltd.  
The drawings, designs, and specifications and copyright therein are the property of CHT Architects Pty Ltd, and must not be used, copied, or reproduced wholly or in part without the express written permission of CHT Architects Pty Ltd.  
Do not scale drawings. Use given dimensions only.  
Any discrepancy in drawings or specifications shall be referred to CHT Architects Pty Ltd.

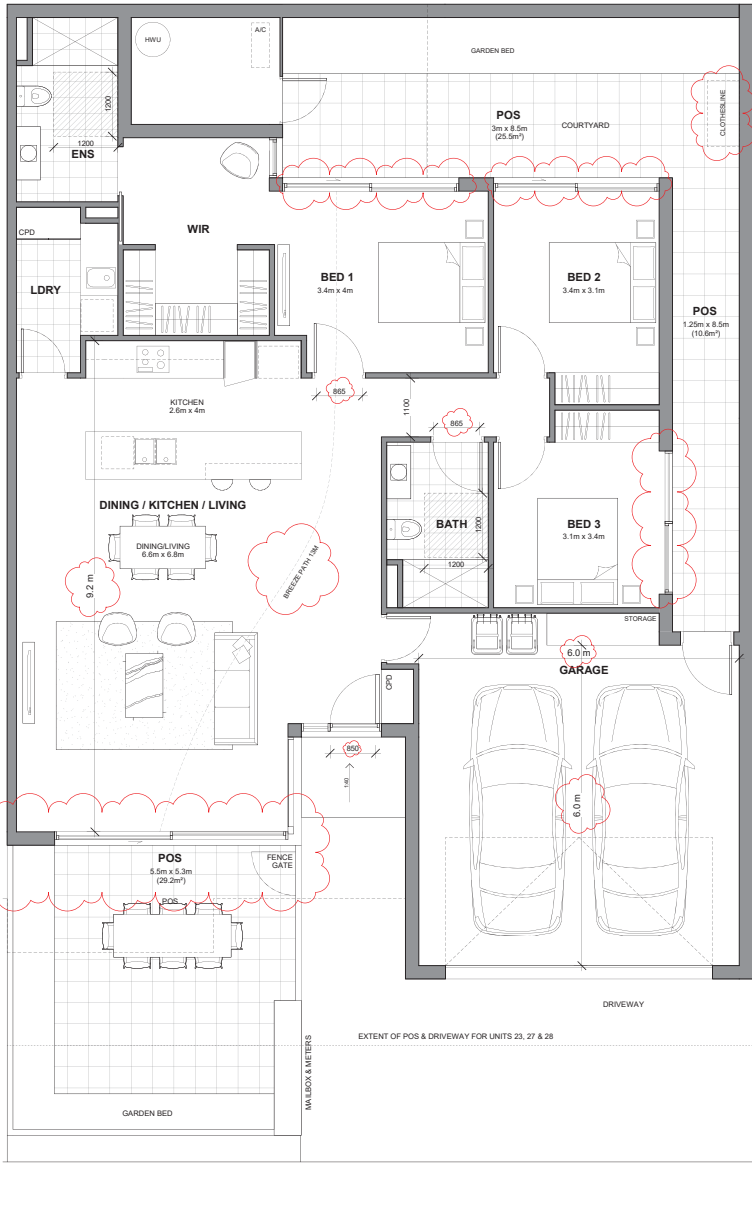
Project **THE ORCHARDS**  
107 - 111 ANDERSONS CREEK ROAD, DONCASTER EAST  
Client **BAPTICARE**

Amendments	
No.	Date
P1	06/04/2018
P2	11/05/2018
P3	24/09/2018

Title **STAGE 3 - ILU TYPE B - 2 BED UPPER**  
Sheet **PRELIMINARY TP**

Sheet No. **TP31**  
Revision **P5**  
Scale **As Indicated@A1**  
Date **24/09/2018**

12001



1 UNIT TYPE C - 3 BED LOWER  
SCALE 1:50

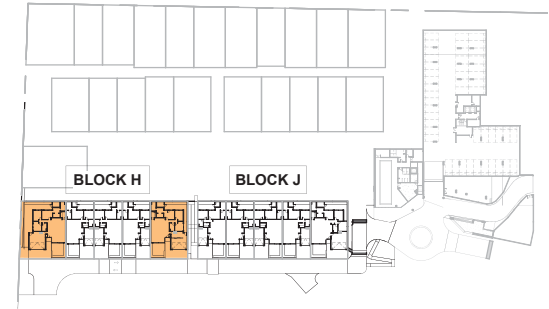
TYPE C - AREAS	
GROSS INTERNAL AREA	140
GARAGE	44
GROSS TOTAL AREA	184
EXTERNAL STORE	6
COURTYARD / TERRACE / BALCONY	59-125

TOTAL NUMBER OF ILU TYPE C 5

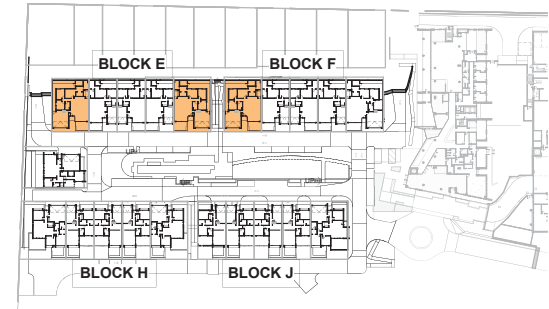
TYPE C STORAGE SCHEDULE

GARAGE STORAGE	3 m <sup>3</sup>
KITCHEN & PANTRY	6 m <sup>3</sup>
LAUNDRY	2 m <sup>3</sup>
ROBES	12 m <sup>3</sup>
TOTAL STORAGE	23 m <sup>3</sup>

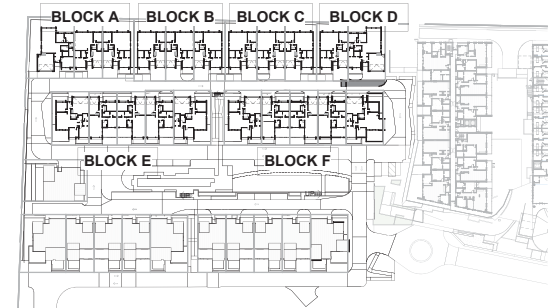
PLANNING AND ENVIRONMENT ACT 1987  
MANNINGHAM PLANNING SCHEME  
ADVERTISED PLANS  
Planning Application Number: FLN180336  
Date: 08 October 2018  
Sheet 14 of 48  
This document is made available for the sole purpose of enabling its consideration and review,  
as part of a planning process under the Planning and Environment Act 1987.  
The document must not be used for any purpose which may breach any Copyright.



2 KEY PLAN - OVERALL - LOWER GROUND - TYPE C  
SCALE 1:1000

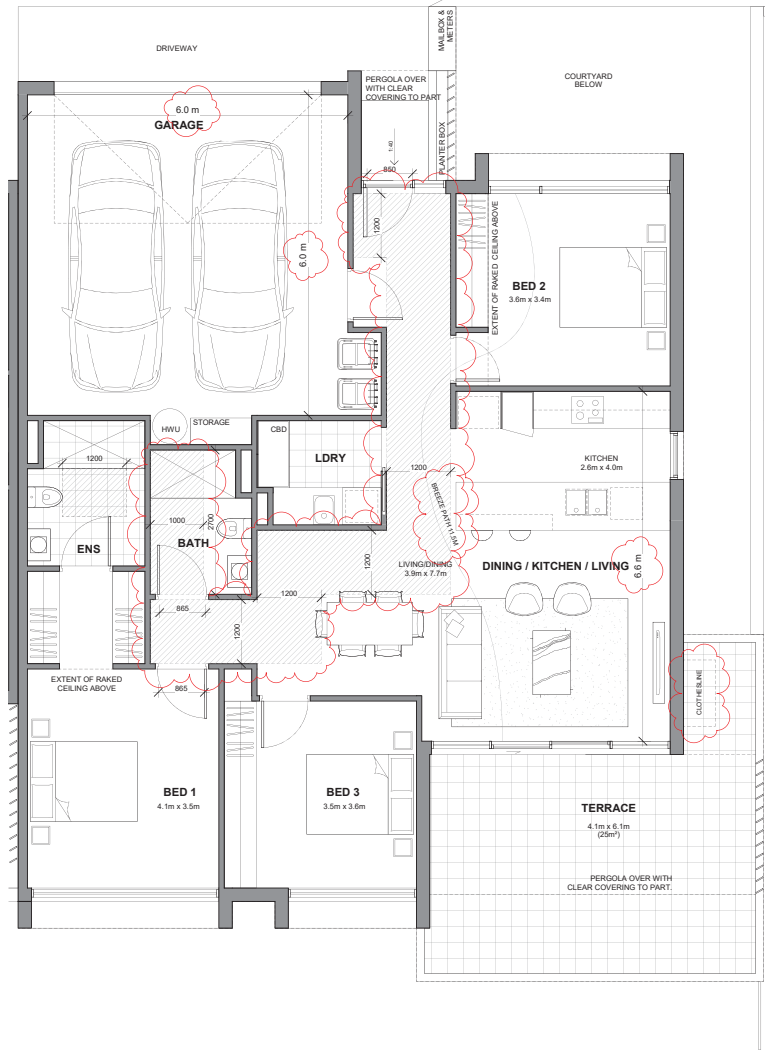


3 KEY PLAN - OVERALL - UPPER GROUND - TYPE C  
SCALE 1:1000



4 KEY PLAN - OVERALL - LEVEL 1 - TYPE C  
SCALE 1:1000





1 UNIT TYPE D - 3 BED UPPER  
SCALE 1:50

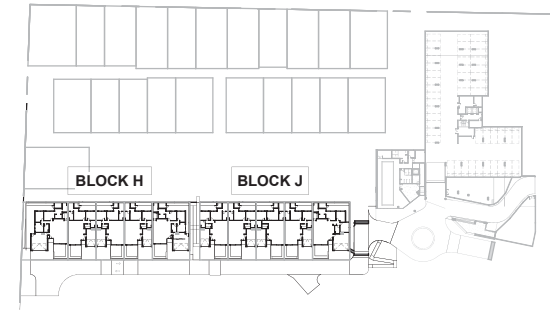
<b>TYPE D - AREAS</b>	
GROSS INTERNAL AREA	126
GARAGE	41
GROSS TOTAL AREA	167
EXTERNAL STORE	-
COURTYARD / TERRACE / BALCONY	30

TOTAL NUMBER OF ILU TYPE D 5

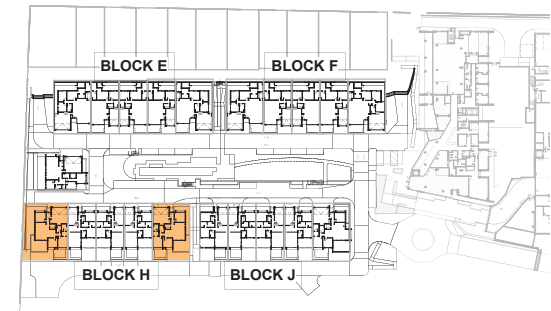
**TYPE D STORAGE SCHEDULE**

GARAGE STORAGE	1 m <sup>3</sup>
KITCHEN & PANTRY	6 m <sup>3</sup>
LAUNDRY	2 m <sup>3</sup>
ROBES	14 m <sup>3</sup>
TOTAL STORAGE	23 m <sup>3</sup>

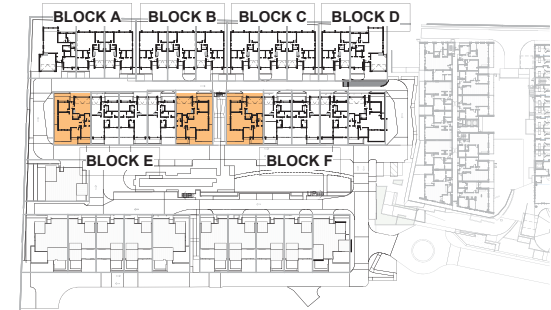
PLANNING AND ENVIRONMENT ACT 1987  
MANNINGHAM PLANNING SCHEME  
ADVERTISED PLANS  
Planning Application Number: PLN180336  
Date: 09 October 2018  
Sheet 15 of 48  
This document is made available for the sole purpose of enabling its consideration and review, as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any Copyright.



2 KEY PLAN - OVERALL - LOWER GROUND - TYPE D  
SCALE 1:1000



3 KEY PLAN - OVERALL - UPPER GROUND - TYPE D  
SCALE 1:1000

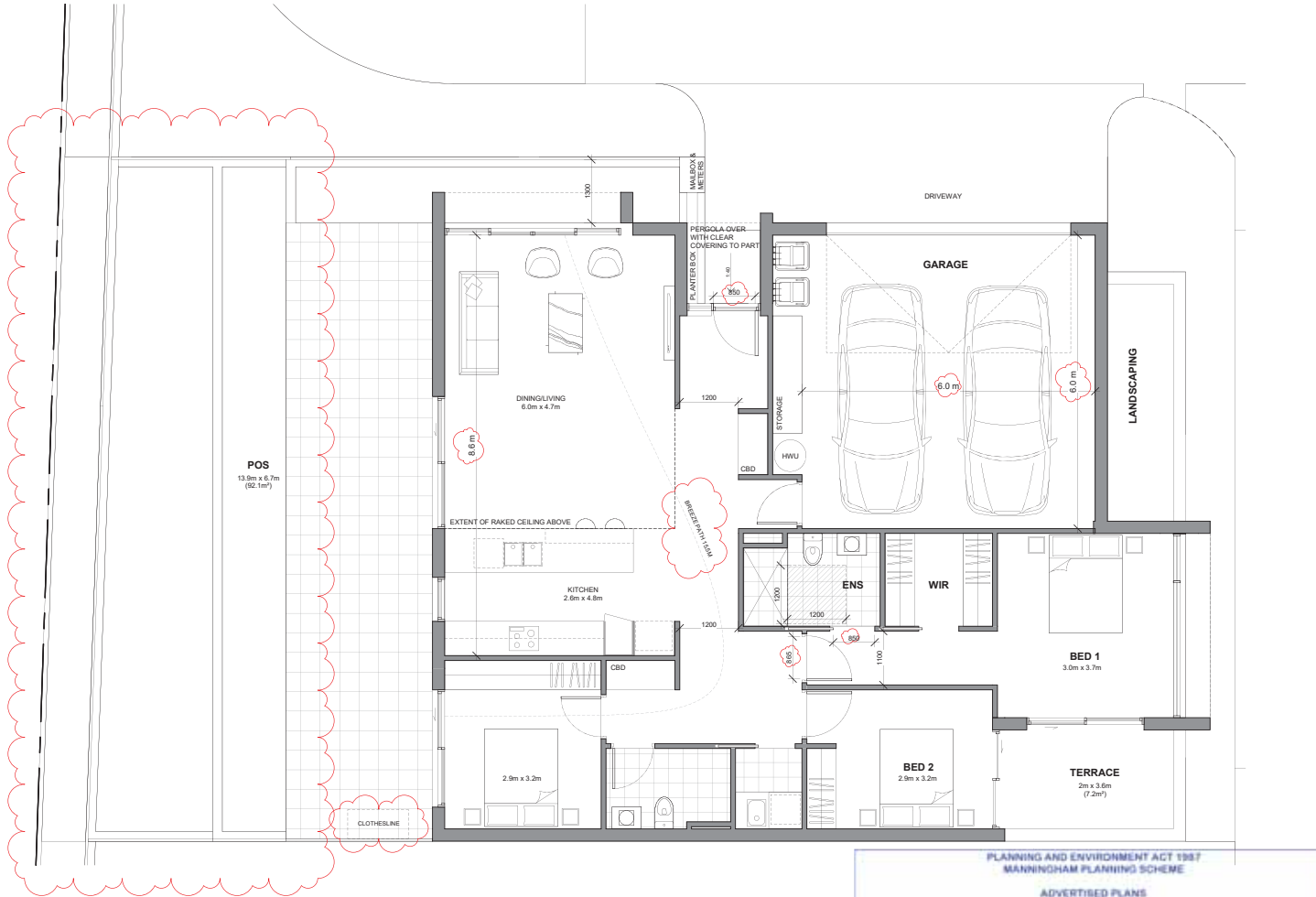


4 KEY PLAN - OVERALL - LEVEL 1 - TYPE D  
SCALE 1:1000

TYPE E - AREAS	
GROSS INTERNAL AREA	131
GARAGE	42
GROSS TOTAL AREA	173
EXTERNAL STORE	-
COURTYARD / TERRACE / BALCONY	116

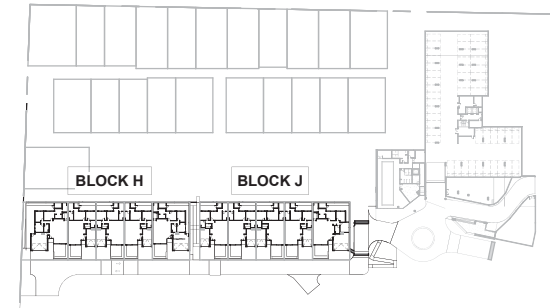
TOTAL NUMBER OF ILU TYPE E 1

TYPE E STORAGE SCHEDULE	
CUPBOARD	2 m <sup>3</sup>
GARAGE STORAGE	3 m <sup>3</sup>
KITCHEN & PANTRY	6 m <sup>3</sup>
ROBES	12 m <sup>3</sup>
TOTAL STORAGE	24 m <sup>3</sup>

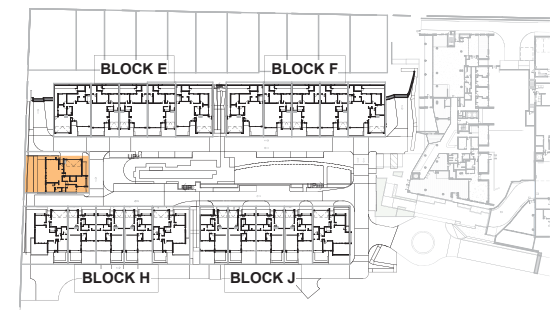


1 UNIT TYPE E - 3 BED  
SCALE 1:50

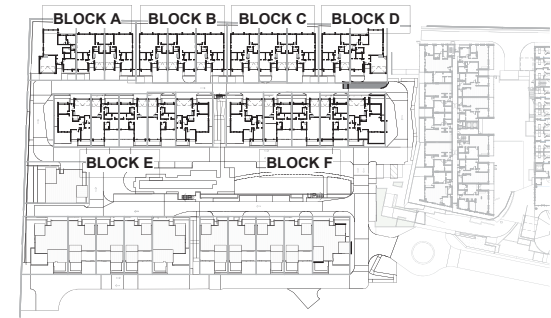
PLANNING AND ENVIRONMENT ACT 1987  
MANNINGHAM PLANNING SCHEME  
ADVERTISED PLANS  
Planning Application Number: PLN180336  
Date: 08 October 2018  
Sheet 16 of 48  
This document is made available for the sole purpose of enabling its consideration and review, as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any Copyright.



2 KEY PLAN - OVERALL - LOWER GROUND - TYPE E  
SCALE 1:1000



3 KEY PLAN - OVERALL - UPPER GROUND - TYPE E  
SCALE 1:1000



4 KEY PLAN - OVERALL - LEVEL 1 - TYPE E  
SCALE 1:1000



CHT Architects Pty Ltd  
44 Colton Street  
Collingwood VIC 3066  
Post Office Box 1302  
Collingwood VIC 3066  
Telephone 03 9417 1944  
Facsimile 03 9415 1847  
info@chtarchitects.com.au  
chtarchitects.com.au

Copyright © CHT Architects Pty Ltd.  
The drawings, designs, and specifications and copyright therein are the property of CHT Architects Pty Ltd, and must not be used, copied, or reproduced wholly or in part without the express written permission of CHT Architects Pty Ltd.  
Do not scale drawings. Use given dimensions only.  
Any discrepancy in drawings or specifications shall be referred to CHT Architects Pty Ltd.

Project THE ORCHARDS  
107 - 111 ANDERSONS CREEK ROAD, DONCASTER EAST  
Client BAPTICARE

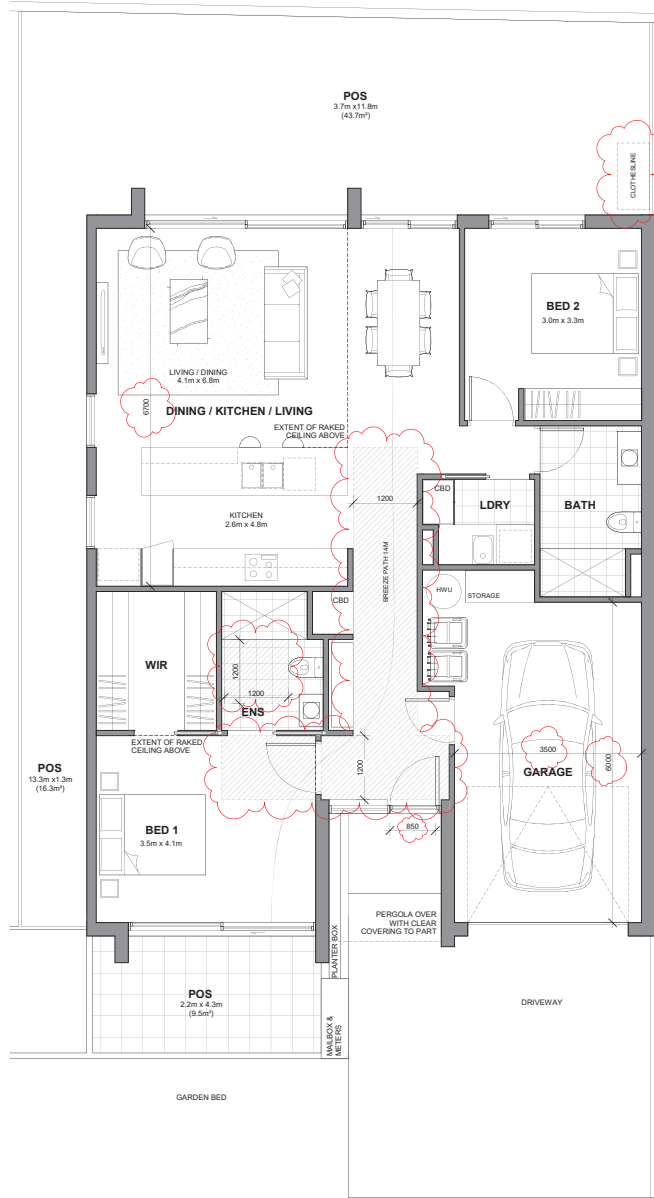
Amendments	No.	Date	Notes
	P1	06/04/2018	TOWN PLANNING SUBMISSION
	P2	11/05/2018	TOWN PLANNING SUBMISSION
	P3	24/09/2018	TOWN PLANNING - COUNCIL RESPONSE

Title STAGE 3 - ILU TYPE E - 3 BED  
Sheet PRELIMINARY  
TP

Sheet No. TP34  
Revision P5  
Scale As Indicated@A1  
Date 24/09/2018

12001

RAISED PLANTER BOX



1 UNIT TYPE F - 2 BED  
SCALE: 1:50

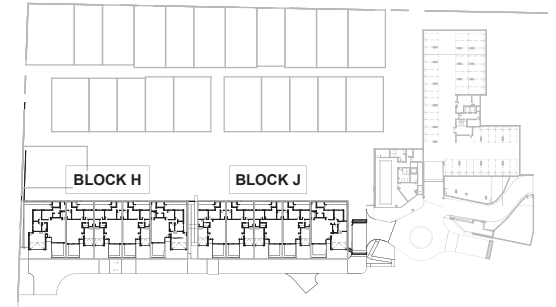
<b>TYPE F - AREAS</b>	
GROSS INTERNAL AREA	112
GARAGE	26
GROSS TOTAL AREA	138
EXTERNAL STORE	-
COURTYARD / TERRACE / BALCONY	66-82

TOTAL NUMBER OF ILU TYPE F 9

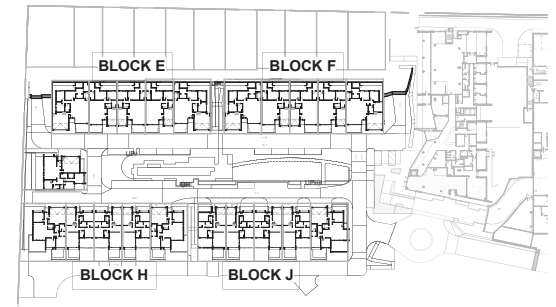
**TYPE F STORAGE SCHEDULE**

CUPBOARD	1 m <sup>3</sup>
GARAGE STORAGE	2 m <sup>3</sup>
KITCHEN & PANTRY	6 m <sup>3</sup>
LAUNDRY	1 m <sup>3</sup>
ROBES	11 m <sup>3</sup>
TOTAL STORAGE	21 m <sup>3</sup>

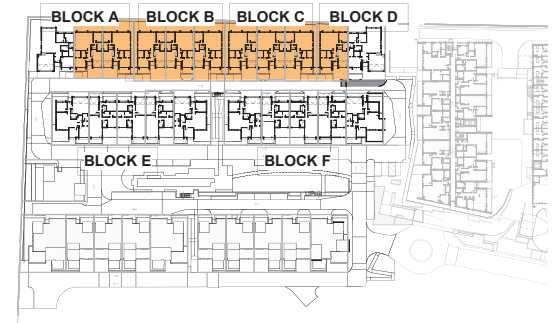
PLANNING AND ENVIRONMENT ACT 1987  
MANNINGHAM PLANNING SCHEME  
ADVERTISED PLANS  
Planning Application Number: PLN180336  
Date: 08 October 2018  
Sheet 17 of 48  
This document is made available for the sole purpose of enabling its consideration and review, as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any Copyright.



2 KEY PLAN - OVERALL - LOWER GROUND - TYPE F  
SCALE: 1:1000



3 KEY PLAN - OVERALL - UPPER GROUND - TYPE F  
SCALE: 1:1000



4 KEY PLAN - OVERALL - LEVEL 1 - TYPE F  
SCALE: 1:1000



CHT Architects Pty Ltd  
ABN 23 108 008 519  
Architecture  
Interior Design  
Urban Design

CHT Architects Pty Ltd  
44 Colvill Street  
Collingwood VIC 3066  
Post Office Box 1302  
Collingwood VIC 3066  
Telephone 03 9417 1944  
Facsimile 03 9415 1847  
info@CHTArchitects.com.au  
cht@architects.com.au

Copyright © CHT Architects Pty Ltd.  
The drawings, designs, and specifications and copyright therein are the property of CHT Architects Pty Ltd, and must not be used, copied, or reproduced wholly or in part without the express written permission of CHT Architects Pty Ltd.  
Do not scale drawings. Use given dimensions only.  
Any discrepancy in drawings or specifications shall be referred to CHT Architects Pty Ltd.

Project  
**THE ORCHARDS**  
107 - 111 ANDERSONS CREEK ROAD, DONCASTER EAST  
Client  
**BAPTICARE**

Amendments	No.	Date	Notes
	PS	06/04/2018	TOWN PLANNING SUBMISSION
	PS	11/05/2018	TOWN PLANNING SUBMISSION
	PS	24/09/2018	TOWN PLANNING - COUNCIL RESPONSE

Title  
**STAGE 3 - ILU TYPE F - 2 BED**  
Sheet  
**PRELIMINARY  
TP**

Sheet No.  
**TP35**  
Revision  
**P5**  
Scale  
**As Indicated@A1**  
Date  
**24/09/2018**

12001



1 UNIT TYPE G - 3 BED  
SCALE 1:50

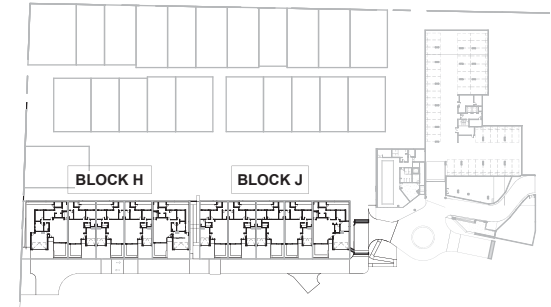
<b>TYPE G - AREAS</b>	
GROSS INTERNAL AREA	143
GARAGE	43
GROSS TOTAL AREA	186
EXTERNAL STORE	-
COURTYARD / TERRACE / BALCONY	79-202

TOTAL NUMBER OF ILU TYPE G 2

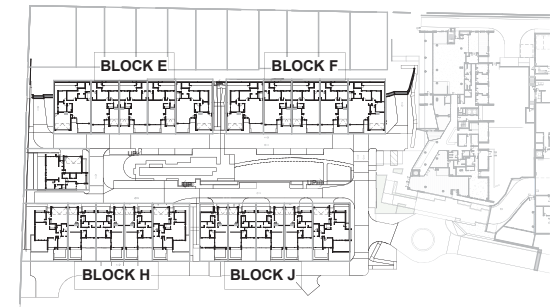
**TYPE G STORAGE SCHEDULE**

CUPBOARD	2 m <sup>3</sup>
GARAGE STORAGE	3 m <sup>3</sup>
KITCHEN & PANTRY	7 m <sup>3</sup>
LAUNDRY	2 m <sup>3</sup>
ROBES	10 m <sup>3</sup>
TOTAL STORAGE	24 m <sup>3</sup>

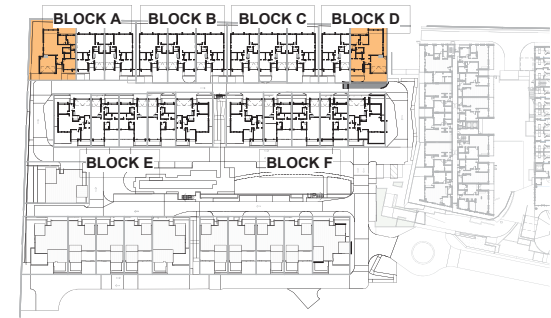
PLANNING AND ENVIRONMENT ACT 1987  
MANNINGHAM PLANNING SCHEME  
ADVERTISED PLANS  
Planning Application Number: PLN180336  
Date: 08 October 2018  
Sheet 18 of 48  
This document is made available for the sole purpose of enabling its consideration and review, as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any Copyright.



2 KEY PLAN - OVERALL - LOWER GROUND - TYPE G  
SCALE 1:1000



3 KEY PLAN - OVERALL - UPPER GROUND - TYPE G  
SCALE 1:1000



4 KEY PLAN - OVERALL - LEVEL 1 - TYPE J  
SCALE 1:1000



CHT Architects Pty Ltd  
44 Colindale Street  
Collingwood VIC 3066  
Post Office Box 1302  
Collingwood VIC 3066  
Telephone 03 9417 1944  
Facsimile 03 9415 1847  
info@chtarchitects.com.au  
chtarchitects.com.au

Copyright © CHT Architects Pty Ltd.  
The drawings, designs, and specifications and copyright therein are the property of CHT Architects Pty Ltd, and must not be used, copied or reproduced wholly or in part without the express written permission of CHT Architects Pty Ltd.  
Do not scale drawings. Use given dimensions only.  
Any discrepancy in drawings or specifications shall be referred to CHT Architects Pty Ltd.

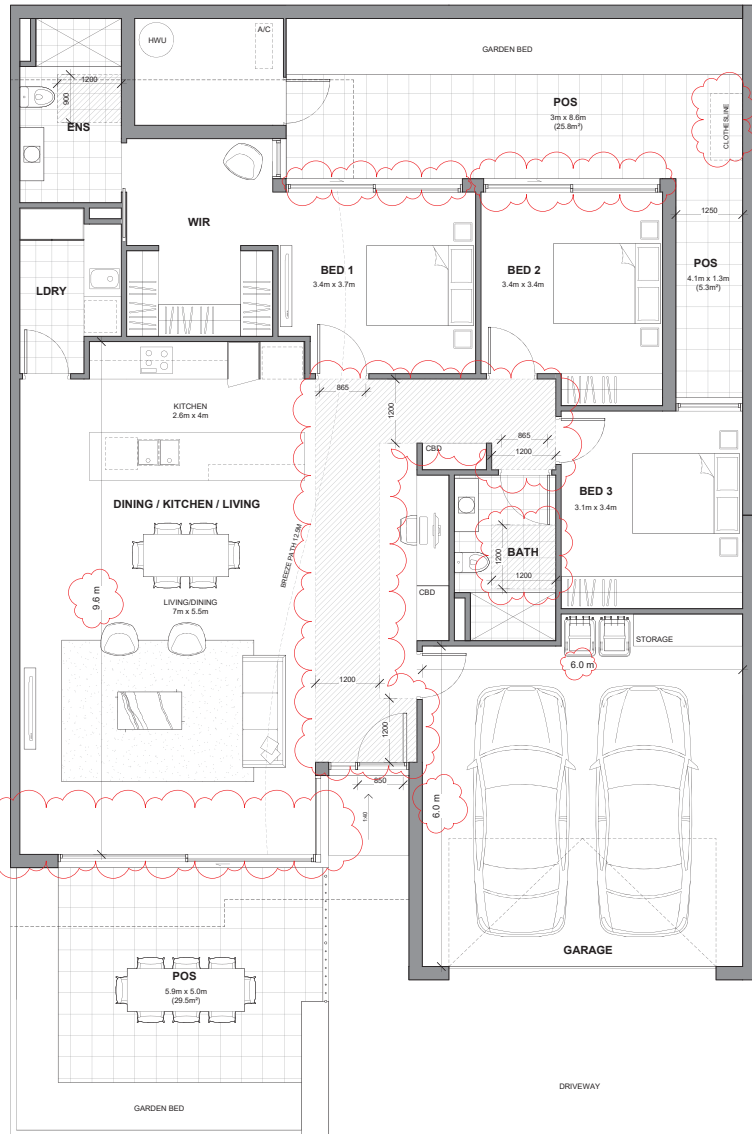
Project  
**THE ORCHARDS**  
107 - 111 ANDERSONS CREEK ROAD, DONCASTER EAST  
Client  
**BAPTICARE**

Amendments		
No.	Date	Notes
PS	06/04/2018	TOWN PLANNING SUBMISSION
PS	11/05/2018	TOWN PLANNING SUBMISSION
PS	24/09/2018	TOWN PLANNING - COUNCIL RPT RESPONSE

Title  
**STAGE 3 - ILU TYPE G - 3 BED**  
Sheet  
**PRELIMINARY**  
**TP**

Sheet No.  
**TP36**  
Revision  
**P5**  
Scale  
**As Indicated@A1**  
Date  
**24/09/2018**

12001



1 UNIT TYPE H - 3 BED LOWER  
SCALE 1:50

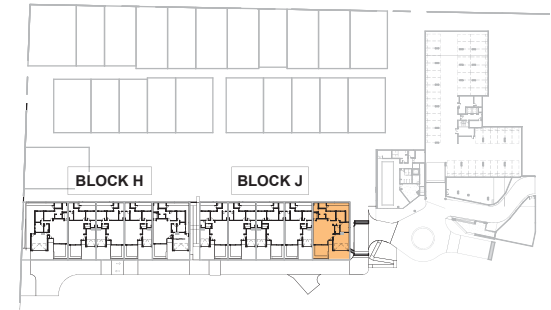
TYPE H - AREAS	
GROSS INTERNAL AREA	153
GARAGE	42
GROSS TOTAL AREA	195
EXTERNAL STORE	-
COURTYARD / TERRACE / BALCONY	59-65

TOTAL NUMBER OF ILU TYPE H 2

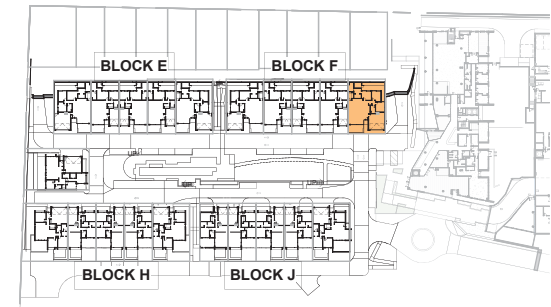
TYPE H STORAGE SCHEDULE

CUPBOARD	3 m³
GARAGE STORAGE	3 m³
KITCHEN & PANTRY	6 m³
LAUNDRY	2 m³
ROBES	14 m³
TOTAL STORAGE	28 m³

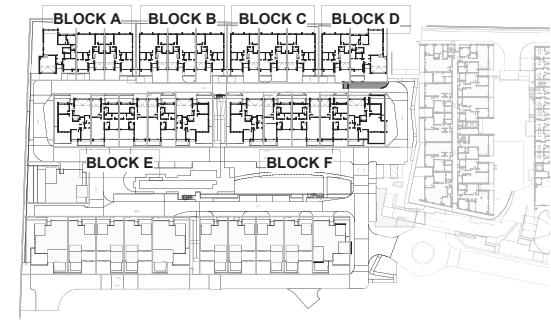
PLANNING AND ENVIRONMENT ACT 1987  
MANNINGHAM PLANNING SCHEME  
ADVERTISED PLANS  
Planning Application Number: FLN180336  
Date: 08 October 2018  
Sheet 19 of 48  
This document is made available for the sole purpose of enabling its consideration and review, as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any Copyright.



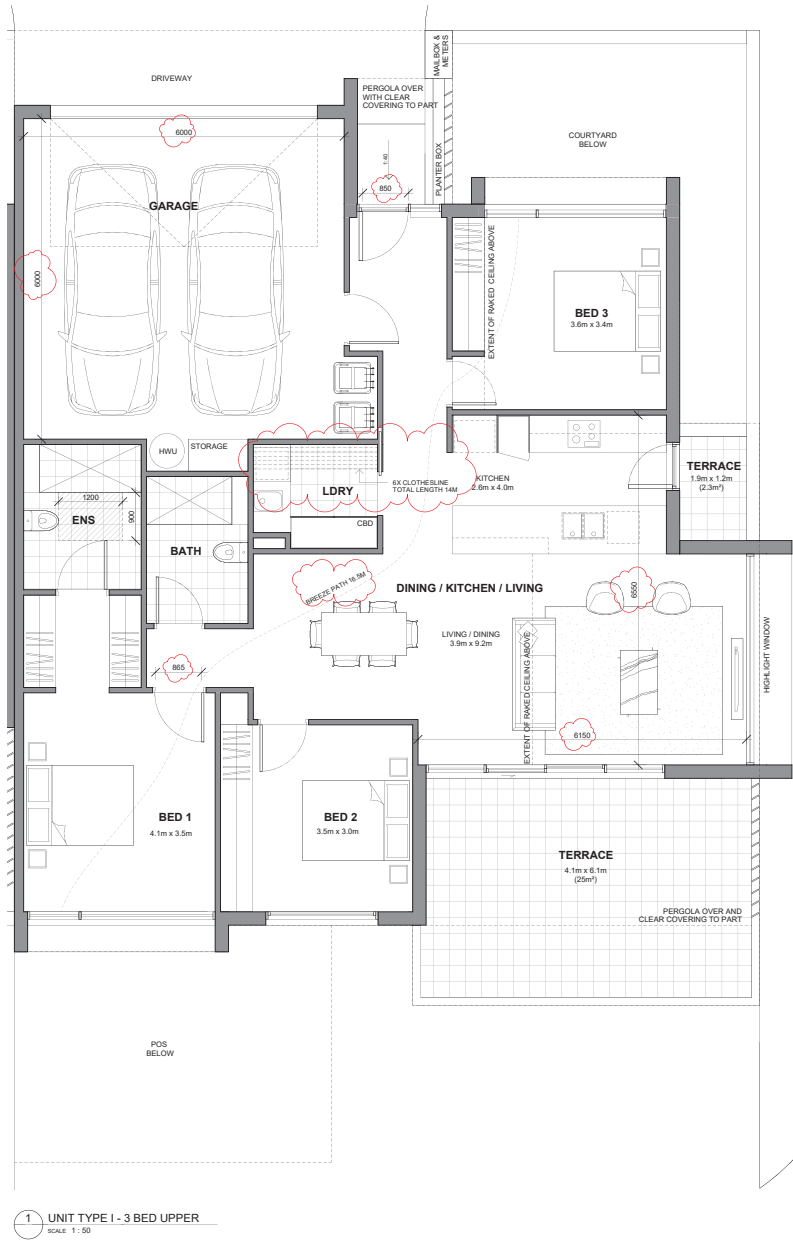
2 KEY PLAN - OVERALL - LOWER GROUND - TYPE H  
SCALE 1:1000



3 KEY PLAN - OVERALL - UPPER GROUND - TYPE H  
SCALE 1:1000



4 KEY PLAN - OVERALL - LEVEL 1 - TYPE H  
SCALE 1:1000



1 UNIT TYPE I - 3 BED UPPER  
SCALE 1:50

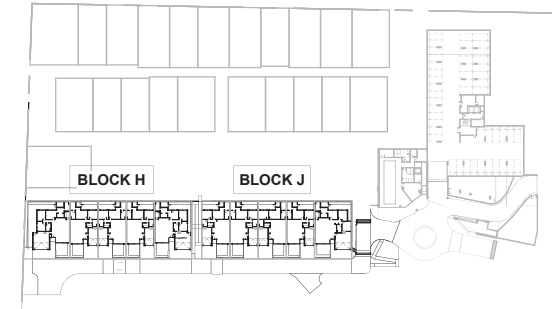
TYPE I - AREAS	
GROSS INTERNAL AREA	132
GARAGE	41
GROSS TOTAL AREA	173
EXTERNAL STORE	-
COURTYARD / TERRACE / BALCONY	31

TOTAL NUMBER OF ILU TYPE I 2

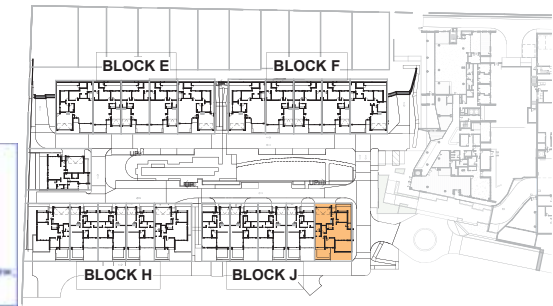
TYPE J STORAGE SCHEDULE

GARAGE STORAGE	2 m³
KITCHEN & PANTRY	6 m³
LAUNDRY	3 m³
ROBES	14 m³
TOTAL STORAGE	23 m³

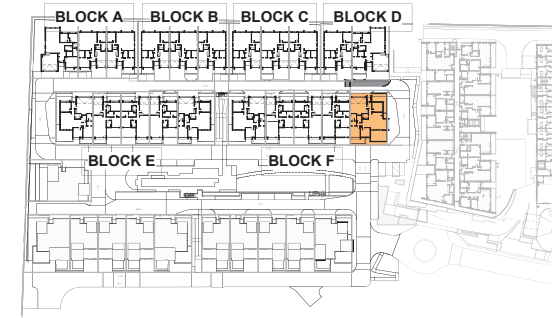
PLANNING AND ENVIRONMENT ACT 1987  
MANNINGHAM PLANNING SCHEME  
ADVERTISED PLANS  
Planning Application Number: PLN180336  
Date: 08 October 2018  
Sheet 20 of 48  
This document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any Copyright.



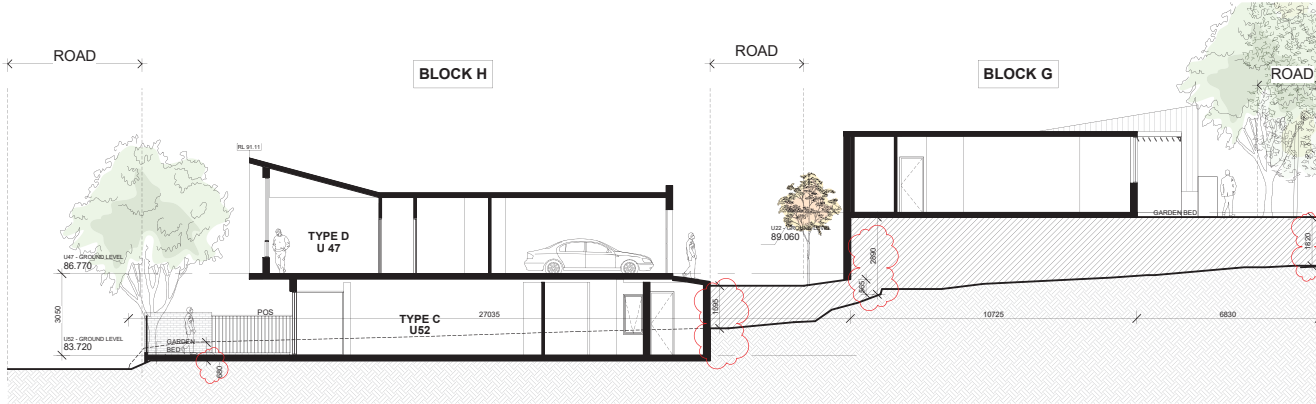
2 KEY PLAN - OVERALL - LOWER GROUND - TYPE J  
SCALE 1:1000



3 KEY PLAN - OVERALL - UPPER GROUND - TYPE J  
SCALE 1:1000



4 KEY PLAN - OVERALL - LEVEL 1 - TYPE J  
SCALE 1:1000



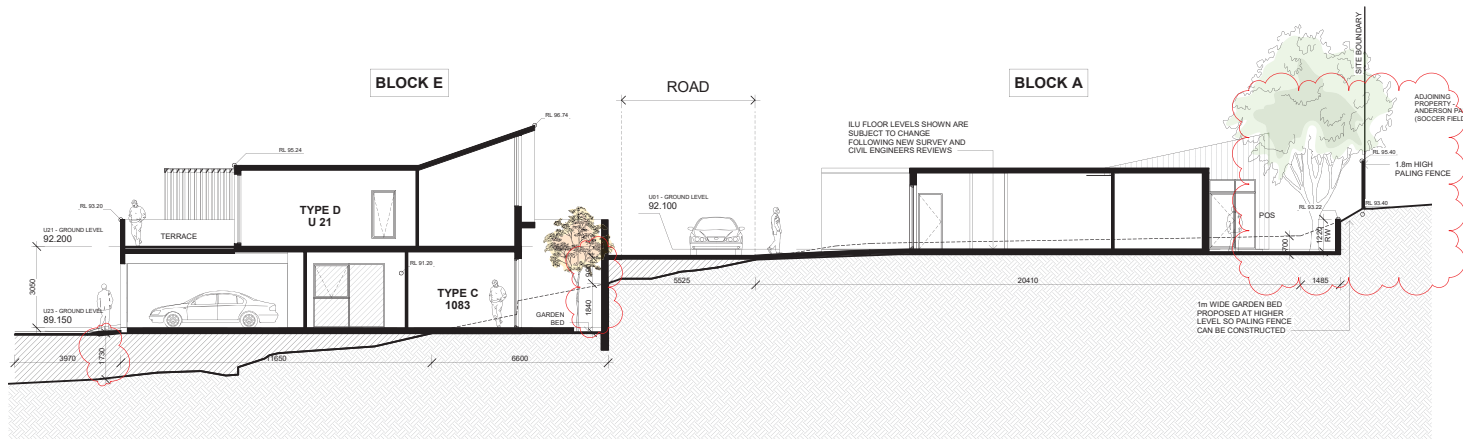
A-1 SECTION A-A - 1  
SCALE: 1:100

PLANNING AND ENVIRONMENT ACT 1987  
MANNINGHAM PLANNING SCHEME

ADVERTISED PLANS

Planning Application Number: PLN18/0338  
Date: 08 October 2018  
Sheet 21 of 48

This document is made available for the sole purpose of enabling its consideration and review, as part of a planning process under the Planning and Environment Act 1987.  
The document must not be used for any purpose which may breach any Copyright.



A-2 SECTION A-A - 2  
SCALE: 1:100



CHT Architects Pty Ltd  
44 Cadzow Street  
Collingwood VIC 3066  
Post Office Box 1302  
Collingwood VIC 3066  
Telephone 03 9417 1944  
Facsimile 03 9415 1847

CHT Architects Pty Ltd  
44 Cadzow Street  
Collingwood VIC 3066  
Post Office Box 1302  
Collingwood VIC 3066  
Telephone 03 9417 1944  
Facsimile 03 9415 1847

Copyright © CHT Architects Pty Ltd.  
The drawings, designs, and specifications and copyright therein are the property of CHT Architects Pty Ltd, and must not be used, copied, or reproduced wholly or in part without the express written permission of CHT Architects Pty Ltd.  
Do not scale drawings. Use given dimensions only.  
Any discrepancy in drawings or specifications shall be referred to CHT Architects Pty Ltd.

Project  
**THE ORCHARDS**  
107 - 111 ANDERSONS CREEK ROAD, DONCASTER EAST

Client  
**BAPTICARE**

Amendments	
No.	Date / Notes
P1	06/04/2018 TOWN PLANNING SUBMISSION
P3	11/05/2018 TOWN PLANNING SUBMISSION
P5	24/09/2018 TOWN PLANNING - COUNCIL RP RESPONSE

Title  
**STAGE 3 - OVERALL SITE SECTION A-A**

Sheet  
**PRELIMINARY TP**

Sheet No.  
**TP40**

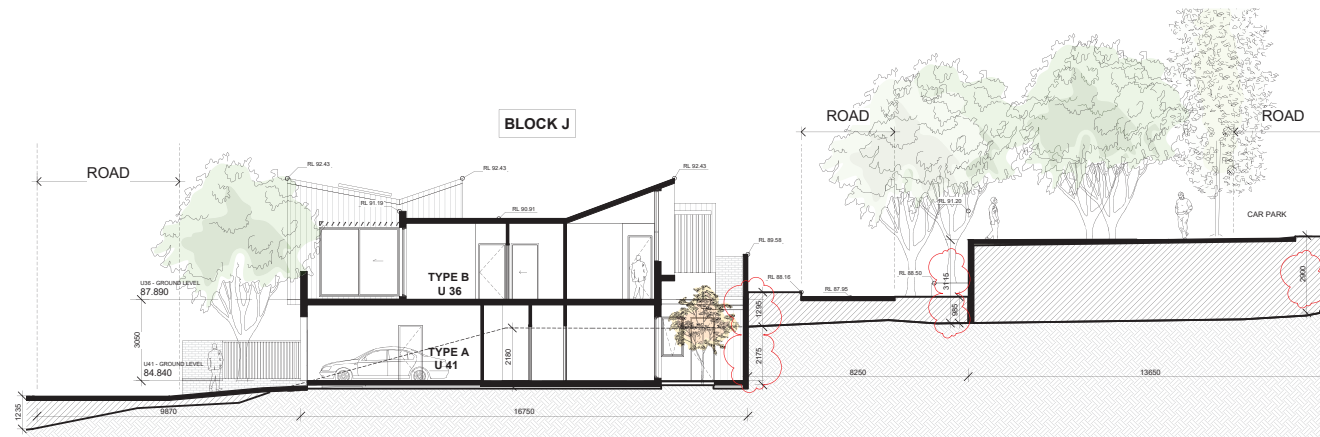
Scale  
**1:100@A1**

Date  
**24/09/2018**

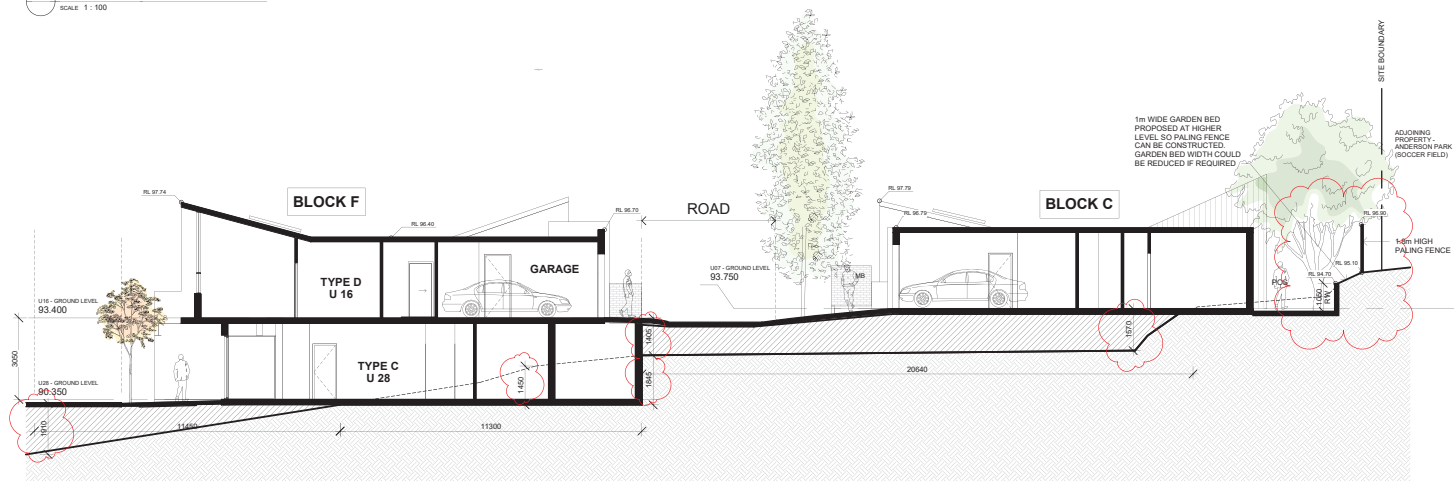
Revision  
**P5**

**12001**

12001-21/09/2018 5:33:37 PM



B-1 SECTION B-B - 1  
SCALE: 1:100



B-2 SECTION B-B - 2  
SCALE: 1:100

PLANNING AND ENVIRONMENT ACT 1987  
MANNINGHAM PLANNING SCHEME  
ADVERTISED PLANS  
Planning Application Number: PLN180336  
Date: 08 October 2018  
Sheet 22 of 48  
This document is made available for the sole purpose of enabling its consideration and review, as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any Copyright.



CHT Architects Pty Ltd  
ABN 29 108 008 519  
Architecture  
Interior Design  
Urban Design

CHT Architects Pty Ltd  
44 Colford Street  
Collingwood VIC 3066  
Post Office Box 1302  
Collingwood VIC 3066

Telephone 03 9417 1944  
Facsimile 03 9415 1847

info@chtarchitects.com.au  
chtarchitects.com.au

Copyright © CHT Architects Pty Ltd.

The drawings, designs, and specifications and copyright therein are the property of CHT Architects Pty Ltd, and must not be used, copied, or reproduced wholly or in part without the express written permission of CHT Architects Pty Ltd.

Do not scale drawings. Use given dimensions only.

Any discrepancy in drawings or specifications shall be referred to CHT Architects Pty Ltd.

Project THE ORCHARDS  
107 - 111 ANDERSONS CREEK ROAD, DONCASTER EAST  
Client BAPT CARE

Amendments		
No.	Date	Notes
P1	06/04/2018	TOWN PLANNING SUBMISSION
P3	11/09/2018	TOWN PLANNING SUBMISSION
P5	24/09/2018	TOWN PLANNING - COUNCIL RESPONSE

Title STAGE 3 - OVERALL SITE SECTION  
B-B  
Sheet PRELIMINARY  
TP

Sheet No. TP41  
Scale 1:100 @ A1  
Date 24/09/2018

Revision P5

12001

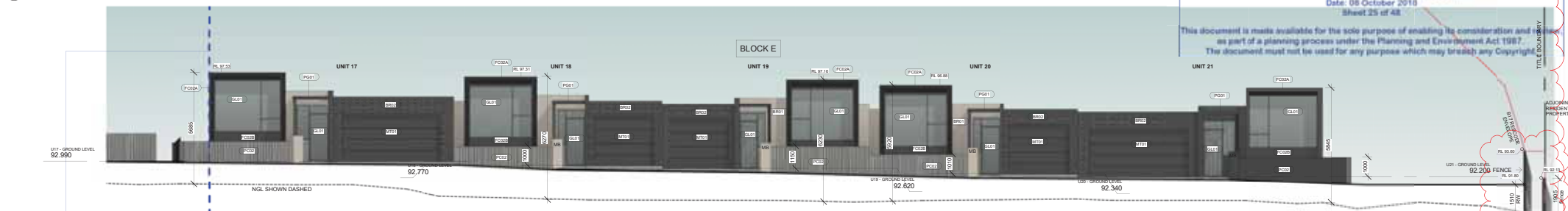




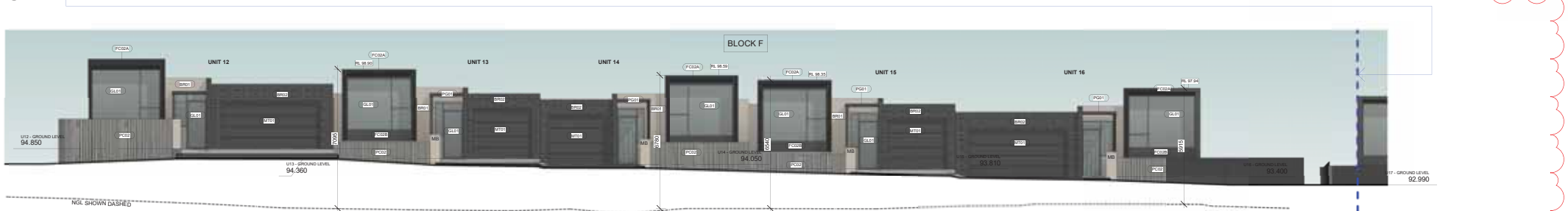
1 BLOCK A - BLOCK B NORTH ELEVATION  
SCALE: 1:100



2 BLOCK C - BLOCK D NORTH ELEVATION - TP  
SCALE: 1:100



3 BLOCK E - NORTH ELEVATION - TP  
SCALE: 1:100



4 BLOCK F - NORTH ELEVATION - TP  
SCALE: 1:100

PLANNING AND ENVIRONMENT ACT 1987  
MANNINGHAM PLANNING SCHEME  
ADVERTISED PLANS  
Planning Application Number: PLN180336  
Date: 08 October 2018  
Sheet 25 of 48  
This document is made available for the sole purpose of enabling its consideration and as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any Copyright.

12001-24/09/2018 9:26:58 AM



**CHT Architects Pty Ltd**  
44 Cadell Street  
Post Office Box 1302  
Collingwood VIC 3066  
Telephone 03 9417 1844  
Facsimile 03 9415 1847  
info@chtarchitects.com.au  
chtarchitects.com.au

Copyright © CHT Architects Pty Ltd.  
The drawings, designs, and specifications and copyright therein are the property of CHT Architects Pty Ltd, and must not be used, copied or reproduced wholly or in part without the express written permission of CHT Architects Pty Ltd.  
Do not scale drawings. Use given dimensions only.  
Any discrepancy in drawings or specifications shall be referred to CHT Architects Pty Ltd.

Project **THE ORCHARDS**  
107 - 111 ANDERSONS CREEK ROAD, DONCASTER EAST

Client **BAPTICARE**

Amendments	No.	Date	Notes
	P1	06/04/2018	TOWN PLANNING SUBMISSION
	P2	11/05/2018	TOWN PLANNING SUBMISSION
	P3	24/09/2018	TOWN PLANNING - COUNCIL RPT RESPONSE

Title **STAGE 3 - BLOCK A TO F NORTH ELEVATIONS**

Sheet **TP**

Sheet No. **TP60**

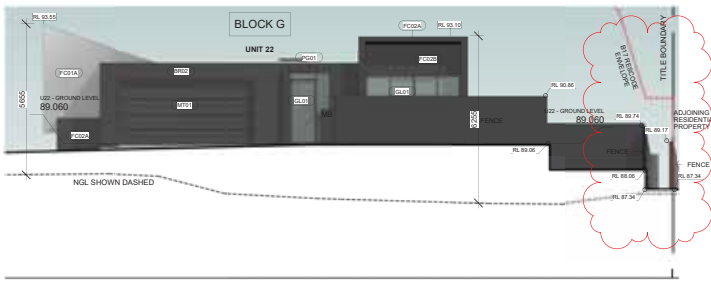
Revision **P5**

Scale **1:100@A1**

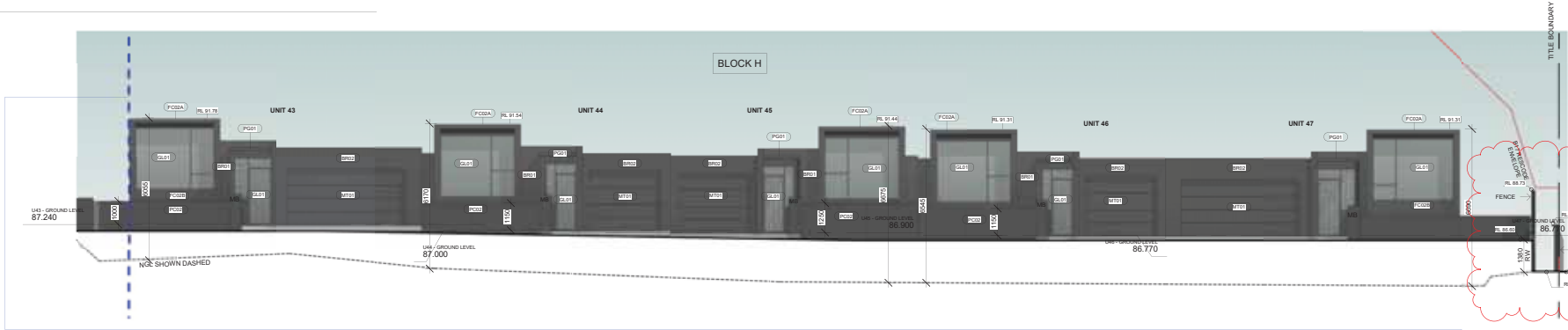
Date **24/09/2018**

12001

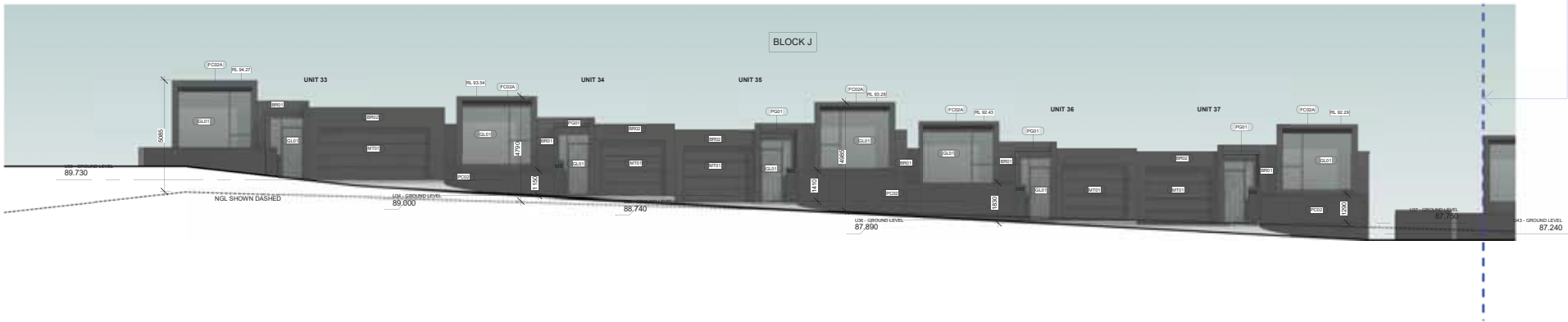
Drawn by: AutoChecked by: Checker



1 BLOCK G - NORTH ELEVATION - TP  
SCALE 1:100



2 BLOCK H - NORTH ELEVATION - TP  
SCALE 1:100



3 BLOCK J - NORTH ELEVATION - TP  
SCALE 1:100

PLANNING AND ENVIRONMENT ACT 1987  
MANNINGHAM PLANNING SCHEME

ADVERTISED PLANS

Planning Application Number: PL/18/0336  
Date: 08 October 2018  
Sheet 26 of 48

This document is made available for the sole purpose of enabling its consideration and review,  
as part of a planning process under the Planning and Environment Act 1987.  
The document must not be used for any purpose which may breach any Copyright.

12/001-24/09/2018 8:32:27 AM



CHT Architects Pty Ltd  
ABN 29 108 008 519  
Architecture  
Interior Design  
Urban Design

CHT Architects Pty Ltd  
44 Cobden Street  
Collingwood VIC 3066  
Post Office Box 1302  
Collingwood VIC 3066  
Telephone 03 9417 1944  
Facsimile 03 9415 1847  
info@chtarchitects.com.au  
chtarchitects.com.au

Copyright © CHT Architects Pty Ltd.  
The drawings, designs, and specifications and copyright therein are the property of CHT Architects Pty Ltd, and must not be used, copied or reproduced wholly or in part without the express written permission of CHT Architects Pty Ltd.  
Do not scale drawings. Use given dimensions only.  
Any discrepancy in drawings or specifications shall be referred to CHT Architects Pty Ltd.

Project THE ORCHARDS  
107 - 111 ANDERSONS CREEK ROAD, DONCASTER EAST

Client BAPTICARE

Amendments		Title	
No.	Date	Notes	
P1	08/04/2018	TOWN PLANNING SUBMISSION	
P2	11/09/2018	TOWN PLANNING SUBMISSION	
P3	24/09/2018	TOWN PLANNING - COUNCIL RESPONSE	

STAGE 3 - BLOCK G TO J NORTH ELEVATIONS

Sheet TP

Sheet No. TP61  
Scale 1:100@A1  
Date 24/09/2018

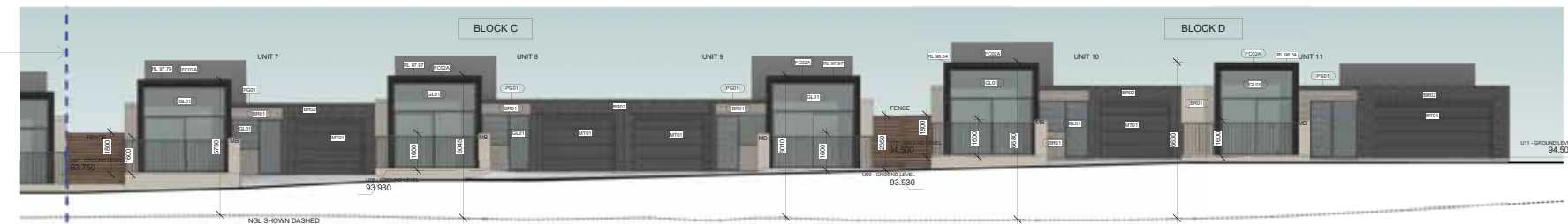
Revision P5

12001

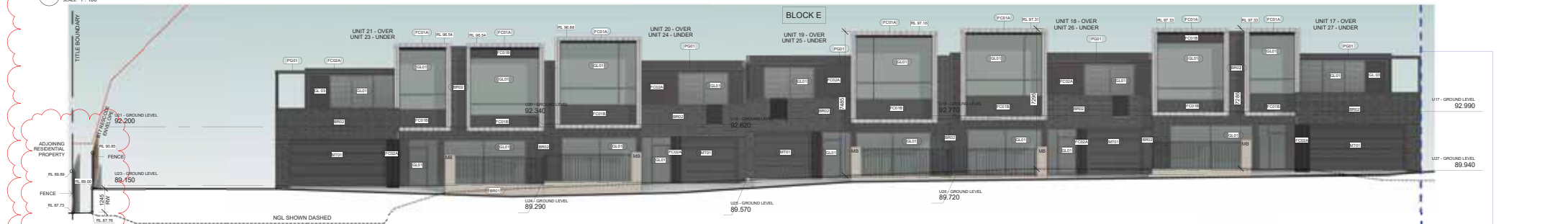
Drawn by AutoChecked by Checker



1 BLOCK A - BLOCK B SOUTH ELEVATION - TP  
SCALE 1 : 100



2 BLOCK C - BLOCK D SOUTH ELEVATION - TP  
SCALE 1 : 100



3 BLOCK E - SOUTH ELEVATION - TP  
SCALE 1 : 100



4 BLOCK F - SOUTH ELEVATION - TP  
SCALE 1 : 100

PLANNING AND ENVIRONMENT ACT 1987  
MANNINGHAM PLANNING SCHEME  
ADVERTISED PLANS  
Planning Application Number: PL1150338  
Date: 08 October 2018  
Sheet 27 of 48

This document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any Copyright.

12/001 - 24/09/2018 12:40:33 PM



CHT Architects Pty Ltd  
44 Cadogan Street  
Collingwood VIC 3066  
Post Office Box 1302  
Collingwood VIC 3066  
Telephone 03 9417 1944  
Facsimile 03 9415 1847

Copyright © CHT Architects Pty Ltd.  
The drawings, designs, and specifications and copyright therein are the property of CHT Architects Pty Ltd, and must not be used, copied or reproduced wholly or in part without the express written permission of CHT Architects Pty Ltd.  
Do not scale drawings. Use given dimensions only.  
Any discrepancy in drawings or specifications shall be referred to CHT Architects Pty Ltd.

Project  
**THE ORCHARDS**  
107 - 111 ANDERSONS CREEK ROAD, DONCASTER EAST

Client  
**BAPTICARE**

Amendments	No.	Date	Notes
	P1	08/04/2018	TOWN PLANNING SUBMISSION
	P2	11/09/2018	TOWN PLANNING SUBMISSION
	P3	24/09/2018	TOWN PLANNING - COUNCIL RPT RESPONSE

Sheet  
**STAGE 3 - BLOCK A TO F SOUTH ELEVATIONS**  
TP

Scale  
1 : 100@A1  
Date  
24/09/2018

Sheet No  
**TP62**

Revision  
**P5**

**12001**

PLANNING AND ENVIRONMENT ACT 1987  
 MANNINGHAM PLANNING SCHEME  
 ADVERTISED PLANS  
 Planning Application Number: PLN18/0336  
 Date: 08 October 2018  
 Sheet 28 of 48

This document is made available for the sole purpose of enabling its consideration and review, as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any Copyright.



1 BLOCK G - SOUTH ELEVATION - TP  
 SCALE 1:100



2 BLOCK H - SOUTH ELEVATION - TP  
 SCALE 1:100



3 BLOCK J - SOUTH ELEVATION - TP  
 SCALE 1:100

12001-24/09/2018 12:47:01 PM



CHT Architects Pty Ltd  
 44 Cadell Street  
 Collingwood VIC 3066  
 Post Office Box 1302  
 Collingwood VIC 3066  
 Telephone 03 9415 1944  
 Facsimile 03 9415 1847  
 info@chtarchitects.com.au  
 chtarchitects.com.au

Copyright © CHT Architects Pty Ltd.  
 The drawings, designs, and specifications and copyright therein are the property of CHT Architects Pty Ltd, and must not be used, copied, or reproduced wholly or in part without the express written permission of CHT Architects Pty Ltd.  
 Do not scale drawings. Use given dimensions only.  
 Any discrepancy in drawings or specifications shall be referred to CHT Architects Pty Ltd.

Project THE ORCHARDS  
 107 - 111 ANDERSONS CREEK ROAD, DONCASTER EAST  
 Client BAPTICARE

Amendments	
No.	Date
P1	06/04/2018
P2	11/05/2018
P3	24/09/2018

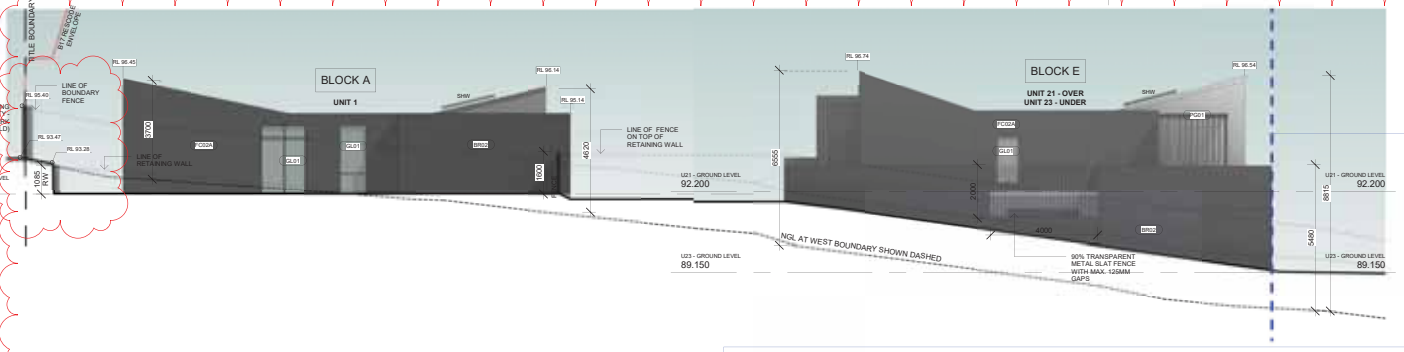
Title STAGE 3 - BLOCK G TO J SOUTH ELEVATIONS  
 Sheet PRELIMINARY TP

Sheet No. TP63  
 Scale 1:100@A1  
 Date 24/09/2018

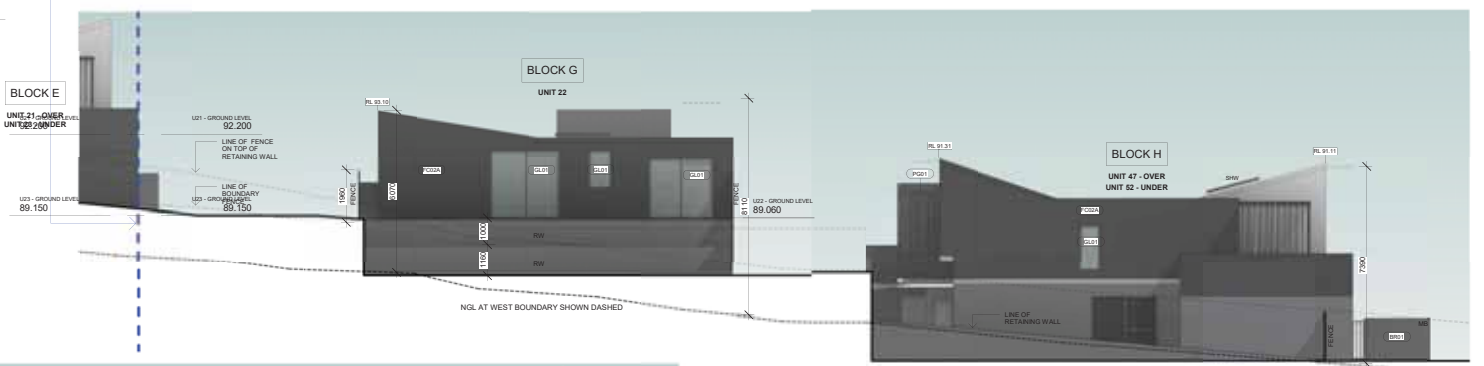
Revision P5

12001

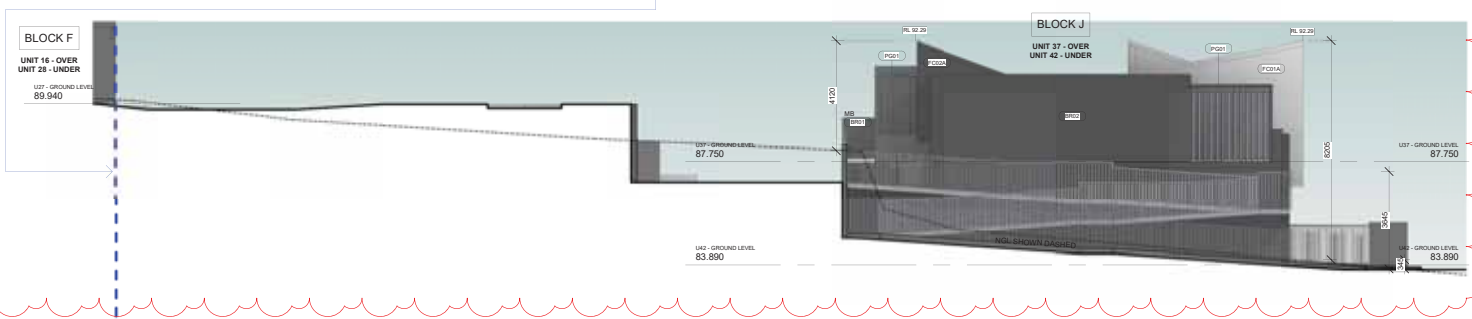
12/001-24/09/2018 9:50:46 AM



1 WEST ELEVATION AT THE BOUNDARY  
SCALE 1:100



2 WEST ELEVATION - THROUGH THE CENTRE  
SCALE 1:100



PLANNING AND ENVIRONMENT ACT 1987  
MANNINGHAM PLANNING SCHEME  
ADVERTISED PLANS  
Planning Application Number: PLU18/0336  
Date: 08 October 2018  
Sheet 20 of 46  
This document is made available for the sole purpose of enabling its consideration and review, as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any Copyright.



CHT Architects Pty Ltd  
44 Oxford Street  
Post Office Box 1132  
Collingwood VIC 3066  
Telephone 03 9417 1944  
Facsimile 03 9415 1847  
info@chtarchitects.com.au  
chtarchitects.com.au

Copyright © CHT Architects Pty Ltd.  
The drawings, designs, and specifications and copyright therein are the property of CHT Architects Pty Ltd, and must not be used, copied or reproduced wholly or in part without the express written permission of CHT Architects Pty Ltd.  
Do not scale drawings. Use given dimensions only.  
Any discrepancy in drawings or specifications shall be referred to CHT Architects Pty Ltd.

Project THE ORCHARDS  
107 - 111 ANDERSONS CREEK ROAD, DONCASTER EAST  
Client BAPTICARE

Amendments	
No.	Date
P1	06/04/2018
P2	11/05/2018
P3	24/09/2018

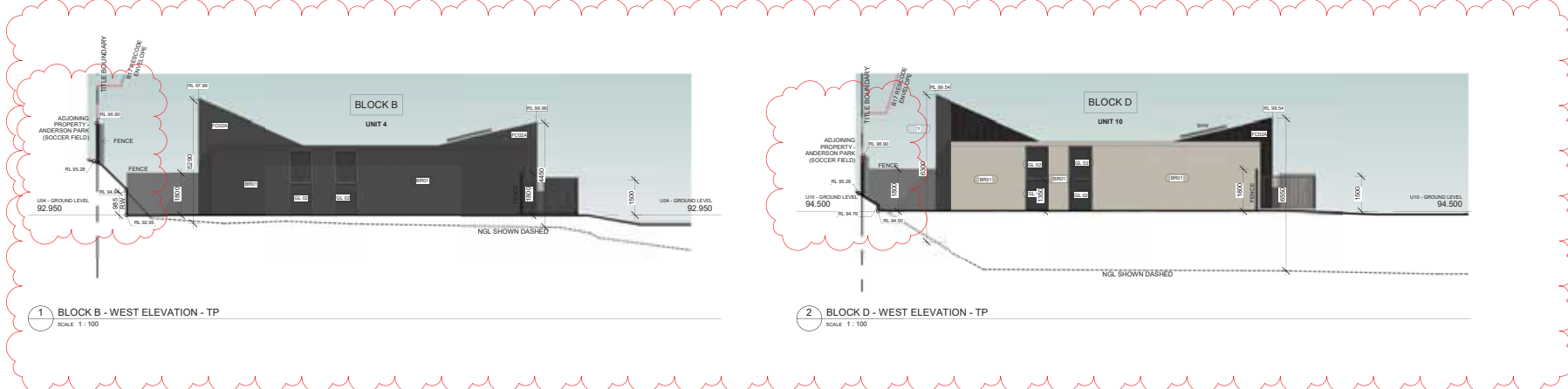
Title STAGE 3 - WEST ELEVATIONS  
Sheet PRELIMINARY  
TP

Sheet No. TP64  
Scale 1:100@A1  
Date 24/09/2018

Revision P5

12001

12/001 - 24/09/2018 8:53:33 AM



1 BLOCK B - WEST ELEVATION - TP  
SCALE 1:100

2 BLOCK D - WEST ELEVATION - TP  
SCALE 1:100

PLANNING AND ENVIRONMENT ACT 1987  
MANNINGHAM PLANNING SCHEME

ADVERTISED PLANS

Planning Application Number: FLN15/0336  
Date: 06 October 2018  
Sheet 30 of 48

This document is made available for the sole purpose of enabling its consideration and review, as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any Copyright.



CHT Architects Pty Ltd  
44 Cadell Street  
Collingwood VIC 3066  
Post Office Box 1302  
Collingwood VIC 3066

Telephone 03 9417 1844  
Facsimile 03 9415 1847

Copyright © CHT Architects Pty Ltd.  
The drawings, designs, and specifications and copyright therein are the property of CHT Architects Pty Ltd, and must not be used, copied, or reproduced wholly or in part without the express written permission of CHT Architects Pty Ltd.

Do not scale drawings. Use given dimensions only.  
Any discrepancy in drawings or specifications shall be referred to CHT Architects Pty Ltd.

Project  
**THE ORCHARDS**  
107 - 111 ANDERSONS CREEK ROAD, DONCASTER EAST

Client  
**BAPTICARE**

Amendments		
No.	Date	Notes
PS	06/10/2018	TOWN PLANNING SUBMISSION
PS	11/09/2018	TOWN PLANNING SUBMISSION
PS	24/09/2018	TOWN PLANNING - COUNCIL RPT RESPONSE

Title  
**STAGE 3 - BLOCK B & D WEST ELEVATIONS**

Sheet  
**PRELIMINARY TP**

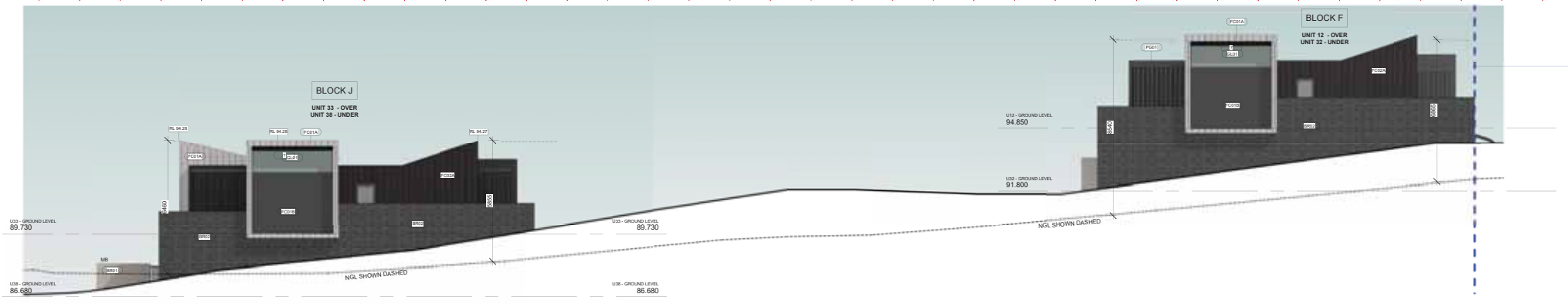
Sheet No.  
**TP65**

Revision  
**P5**

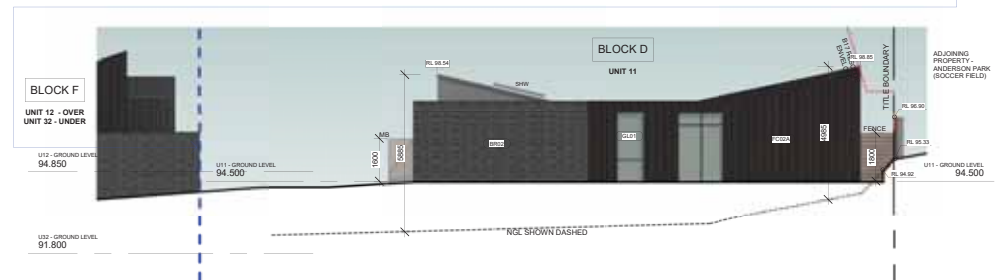
Scale  
**1:100@A1**

Date  
**24/09/2018**

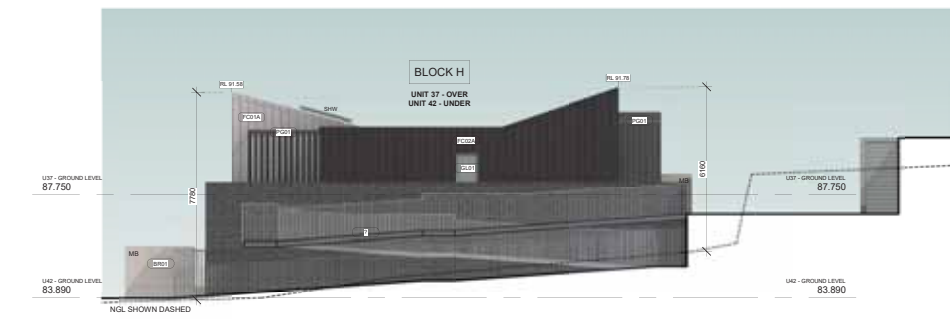
**12001**



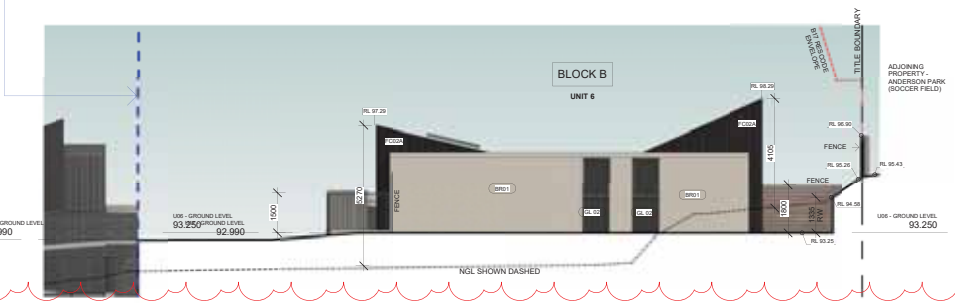
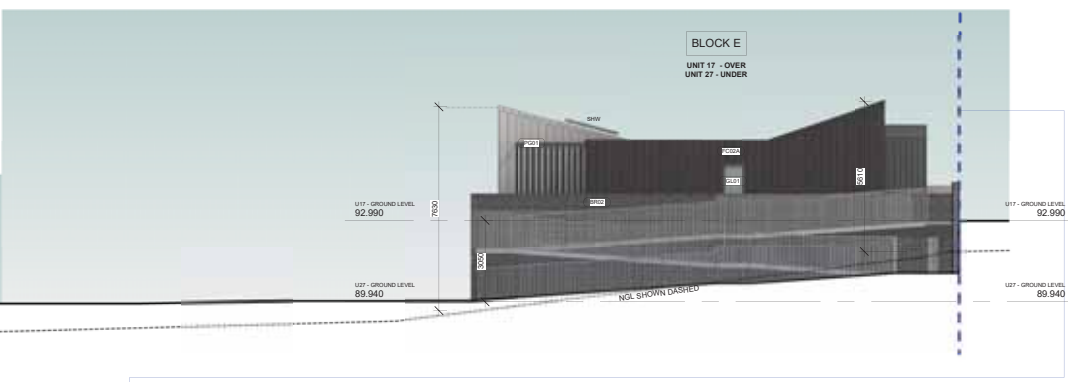
1 EAST ELEVATION AT STAGE 2 INTERFACE  
SCALE 1 : 100



PLANNING AND ENVIRONMENT ACT 1987  
MANNINGHAM PLANNING SCHEME  
ADVERTISED PLANS  
Planning Application Number: PLN18/0336  
Date 08 October 2018  
Sheet 31 of 48  
This document is made available for the sole purpose of enabling its consideration and review, as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any Copyright.



2 EAST ELEVATION THROUGH THE CENTRE  
SCALE 1 : 100



CHT Architects Pty Ltd  
44 CBDog Street  
Collingwood VIC 3066  
Post Office Box 1302  
Collingwood VIC 3066  
Telephone 03 9417 1944  
Facsimile 03 9415 1847  
info@CHTArchitects.com.au  
chtArchitects.com.au

Copyright © CHT Architects Pty Ltd.  
The drawings, designs, and specifications and copyright therein are the property of CHT Architects Pty Ltd, and must not be used, copied or reproduced wholly or in part without the express written permission of CHT Architects Pty Ltd.  
Do not scale drawings. Use given dimensions only.  
Any discrepancy in drawings or specifications shall be referred to CHT Architects Pty Ltd.

Project THE ORCHARDS  
107 - 111 ANDERSONS CREEK ROAD, DONCASTER EAST  
Client BAPTICARE

Amendments	
No.	Date
P1	06/04/2018
P2	11/05/2018
P3	24/09/2018

Title STAGE 3 - EAST ELEVATIONS  
Sheet PRELIMINARY  
TP

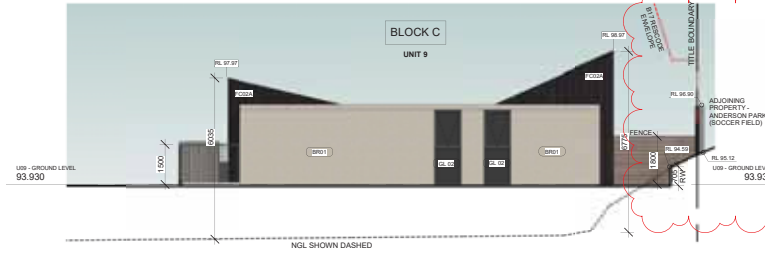
Sheet No. TP66  
Revision P5  
Scale 1 : 100@A1  
Date 24/09/2018

12001

12001-24/09/2018 9:04:21 AM



1 BLOCK G - EAST ELEVATION - TP  
SCALE 1:100



2 BLOCK C - EAST ELEVATION - TP  
SCALE 1:100



3 BLOCK A - EAST ELEVATION - TP  
SCALE 1:100

PLANNING AND ENVIRONMENT ACT 1987  
MANNINGHAM PLANNING SCHEME  
ADVERTISED PLANS  
Planning Application Number: PLN18/0336  
Date: 08 October 2018  
Sheet 32 of 46  
This document is made available for the sole purpose of enabling its consideration and review,  
as part of a planning process under the Planning and Environment Act 1987.  
The document must not be used for any purpose which may breach any Copyright.



CHT Architects Pty Ltd  
ABN 29 108 008 519

CHT Architects Pty Ltd  
44 Cadell Street  
Collingwood VIC 3066  
Post Office Box 1302  
Collingwood VIC 3066  
Telephone 03 9417 1944  
Facsimile 03 9415 1847  
info@chtarchitects.com.au  
chtarchitects.com.au

Copyright © CHT Architects Pty Ltd.  
The drawings, designs, and specifications and copyright therein are the property of CHT Architects Pty Ltd, and must not be used, copied, or reproduced wholly or in part without the express written permission of CHT Architects Pty Ltd.  
Do not scale drawings. Use given dimensions only.  
Any discrepancy in drawings or specifications shall be referred to CHT Architects Pty Ltd.

Project THE ORCHARDS  
107 - 111 ANDERSONS CREEK ROAD, DONCASTER EAST  
Client BAPT CARE

Amendments		
No.	Date	Notes
PS	24/09/2018	TOWN PLANNING - COUNCIL RPT RESPONSE

Title STAGE 3 - BLOCK A, C & G EAST  
ELEVATIONS  
Sheet PRELIMINARY  
TP

Sheet No. TP67  
Revision P5  
Scale 1:100@A1  
Date 24/09/2018

12001



MATERIAL SCHEDULE



BR01 - FACE BRICK - CREAM



BR02 - FACE BRICK - DARK GREY

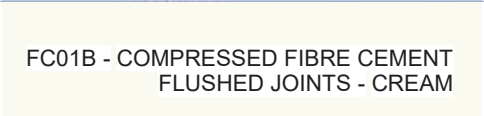


FC01A - COMPRESSED FIBRE CEMENT  
EXPRESSED JOINTS - CREAM

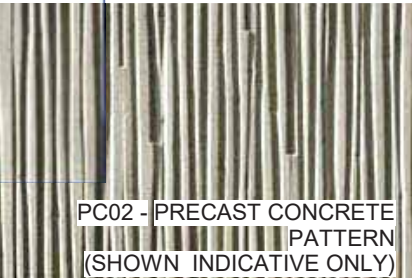


FC02A - COMPRESSED FIBRE CEMENT  
EXPRESSED JOINTS - DARK GREY

PLANNING AND ENVIRONMENT ACT 1987  
MANNINGHAM PLANNING SCHEME  
ADVERTISED PLANS  
Planning Application Number: PLN18/0336  
Date: 08 October 2018  
Sheet 33 of 48  
This document is made available for the sole purpose of enabling its consideration and review, as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any Copyright.



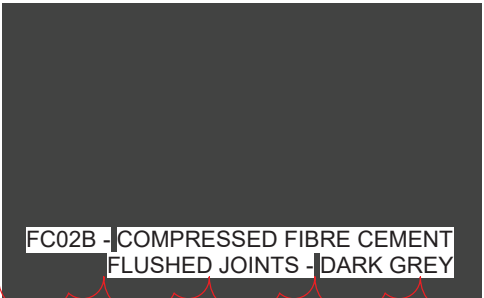
FC01B - COMPRESSED FIBRE CEMENT  
FLUSHED JOINTS - CREAM



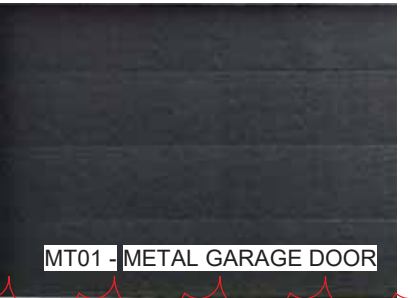
PC02 - PRECAST CONCRETE  
PATTERN  
(SHOWN INDICATIVE ONLY)



PG01 - ENTRY PERGOLA -  
COVERING TO PART



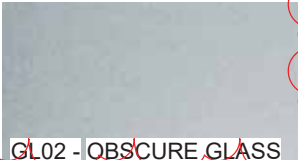
FC02B - COMPRESSED FIBRE CEMENT  
FLUSHED JOINTS - DARK GREY



MT01 - METAL GARAGE DOOR



GL01 - CLEAR GLASS



GL02 - OBSCURE GLASS

MINIMUM GLAZING  
PERFORMANCE  
U - 4.3, SHGC - 0.53  
AS PER ESD REPORT

12001-24/09/2018 09:03:53 AM/TPF



CHT Architects Pty Ltd  
44 Colind Street  
Collingwood VIC 3066  
Post Office Box 1352  
Collingwood VIC 3066  
Telephone 03 9417 1944  
Facsimile 03 9415 1847

CHT Architects Pty Ltd  
ABN 29 108 008 319  
info@chtarchitects.com.au  
chtarchitects.com.au

Copyright © CHT Architects Pty Ltd.  
The drawings, designs, and specifications and copyright therein are the property of CHT Architects Pty Ltd. and must not be used, copied, or reproduced wholly or in part without the express written permission of CHT Architects Pty Ltd.  
Do not scale drawings. Use given dimensions only. Any discrepancy in drawings or specifications shall be referred to.

Project THE ORCHARDS  
107 - 111 ANDERSONS CREEK ROAD, DONCASTER EAST  
Client BAPTCARE

Amendments		Notes	
No.	Date	No.	Date
01	24/09/2018	01	TOWN PLANNING - COUNCIL RFP RESPONSE

Title STAGE 3 - EXTERNAL MATERIALS AND FINISHES  
Sheet BUILDING PERMIT TP

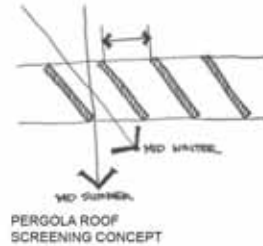
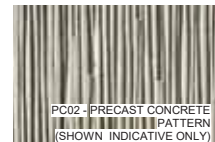
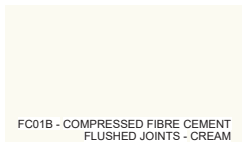
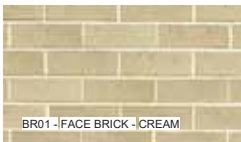
Sheet No. TP68  
Scale  
Date 24/09/2018  
Revision P5

12001

PLANNING AND ENVIRONMENT ACT 1987  
 MANNINGHAM PLANNING SCHEME  
 ADVERTISED PLANS  
 Planning Application Number: PLN18/0336  
 Date: 08 October 2018  
 Sheet 34 of 48  
 This document is made available for the sole purpose of enabling its consideration and review,  
 as part of a planning process under the Planning and Environment Act 1987.  
 The document must not be used for any purpose which may breach any Copyright.



MATERIAL SCHEDULE



CHT Architects Pty Ltd  
 ASB 20 108 008 519  
 Architecture  
 Interior Design  
 Urban Design

CHT Architects Pty Ltd  
 44 Oxford Street  
 Collingwood VIC 3066  
 Post Office Box 1302  
 Collingwood VIC 3066  
 Telephone 03 9417 1944  
 Facsimile 03 9415 1847  
 info@CHTArchitects.com.au  
 chtArchitects.com.au

Copyright © CHT Architects Pty Ltd.  
 The drawings, designs, and specifications and copyright  
 therein are the property of CHT Architects Pty Ltd, and must  
 not be used, copied or reproduced wholly or in part without  
 the express written permission of CHT Architects Pty Ltd.  
 Do not scale drawings. Use given dimensions only.  
 Any discrepancy in drawings or specifications shall be  
 referred to CHT Architects Pty Ltd.

Project  
**THE ORCHARDS**  
 107 - 111 ANDERSONS CREEK ROAD, DONCASTER EAST  
 Client  
**BAPTICARE**

Amendments	
No.	Date
P1	06/04/2018
P2	11/05/2018

Title  
 STAGE 3 - TYPICAL NORTHERN  
 FACADE AND ENTRY  
 Sheet  
 PRELIMINARY  
 TP

Sheet No.  
**TP80**  
 Scale  
 As Indicated@A1  
 Date  
 11/05/2018

Revision  
**P3**  
**12001**

Drawn by: AutoChecked by: Checker

12/001-24/09/2018 9:08:37 AM

PLANNING AND ENVIRONMENT ACT 1987  
MANDURONG PLANNING SCHEME

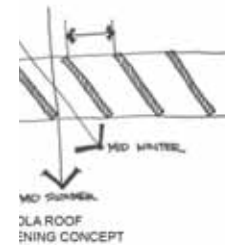
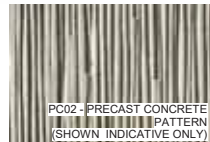
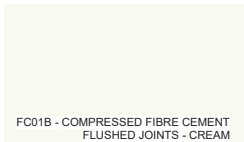
ADVERTISED PLANS

Planning Application Number: PLN16/0236  
Date: 18 October 2018  
Sheet 35 of 48

This document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any Copyright.



MATERIAL SCHEDULE



CHT Architects Pty Ltd  
44 Colwell Street  
Collingwood VIC 3066  
Post Office Box 1302  
Collingwood VIC 3066  
Telephone 03 9417 1844  
Facsimile 03 9417 1847

Copyright © CHT Architects Pty Ltd.  
The drawings, designs, and specifications and copyright therein are the property of CHT Architects Pty Ltd, and must not be used, copied or reproduced wholly or in part without the express written permission of CHT Architects Pty Ltd.  
Do not scale drawings. Use given dimensions only.  
Any discrepancy in drawings or specifications shall be referred to CHT Architects Pty Ltd.

Project  
**THE ORCHARDS**  
107 - 111 ANDERSONS CREEK ROAD, DONCASTER EAST

Client  
**BAPTICARE**

Amendments		
No.	Date	Notes
PL	06/04/2018	TOWN PLANNING SUBMISSION
PS	11/05/2018	TOWN PLANNING SUBMISSION

Title  
**STAGE 3 - TYPICAL SOUTHERN & CORNER FACADE**

Sheet  
**PRELIMINARY  
TP**

Sheet No.  
**TP81**

Scale  
**As Indicated@A1**

Date  
**11/05/2018**

Revision  
**P3**

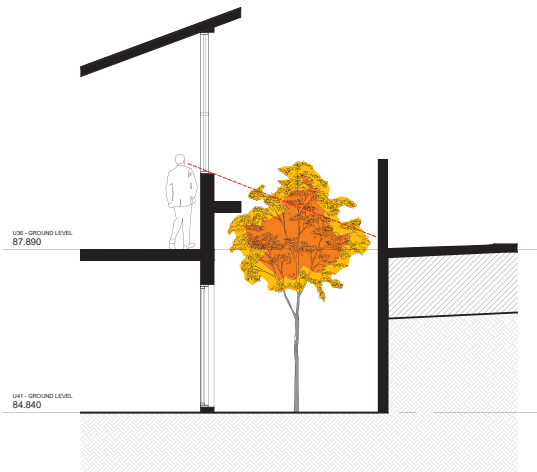
**12001**



1 SECTION A-A OVERLOOKING  
SCALE 1: 200

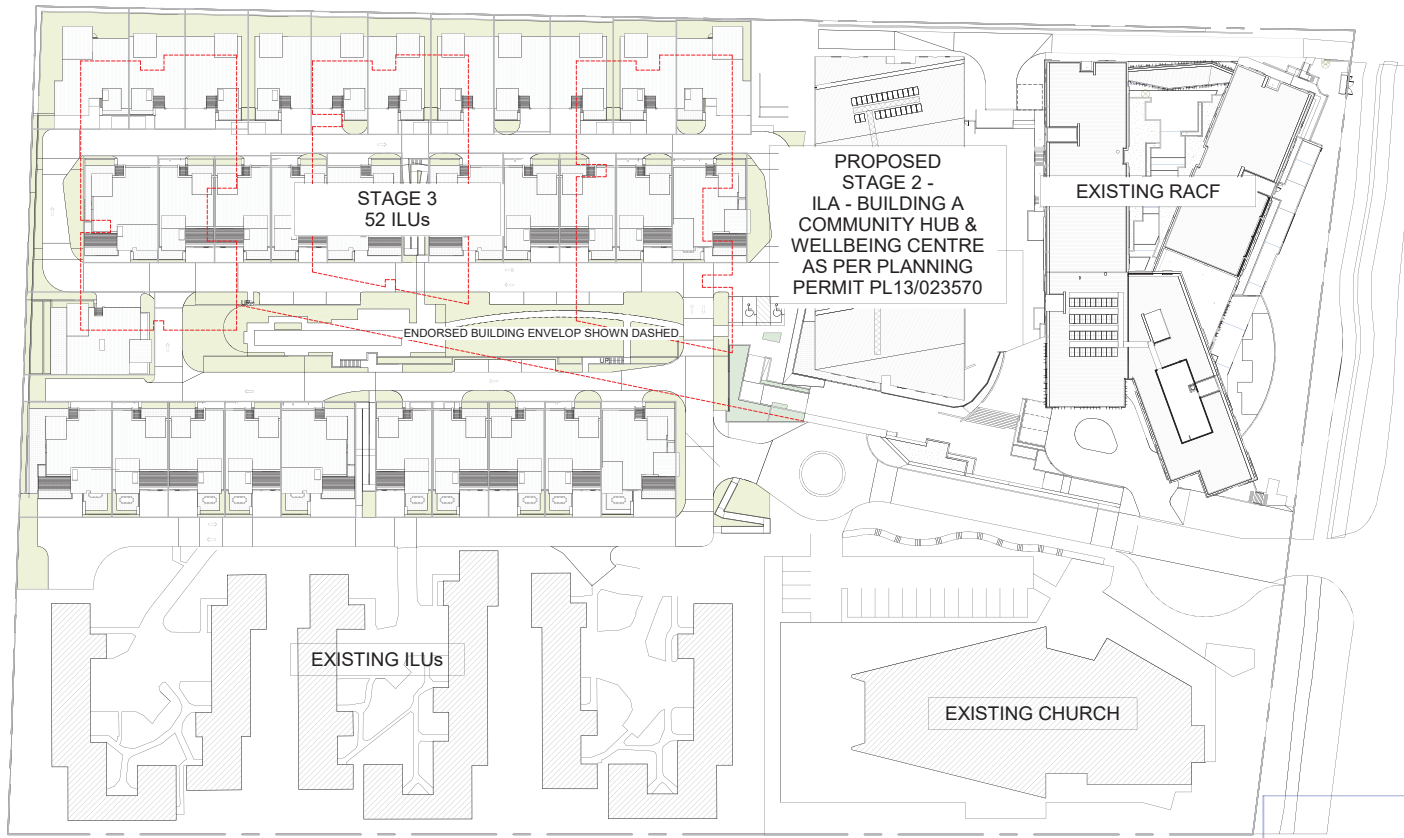


2 SECTION B-B OVERLOOKING  
SCALE 1: 200



3 SECTION - COURTYARD OVERLOOKING  
SCALE 1: 50

PLANNING AND ENVIRONMENT ACT 1987  
MANNINGHAM PLANNING SCHEME  
ADVERTISED PLANS  
Planning Application Number: PLN18/0336  
Date: 09 October 2018  
Sheet 45 of 48  
This document is made available for the sole purpose of enabling its consideration and review, as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any Copyright.



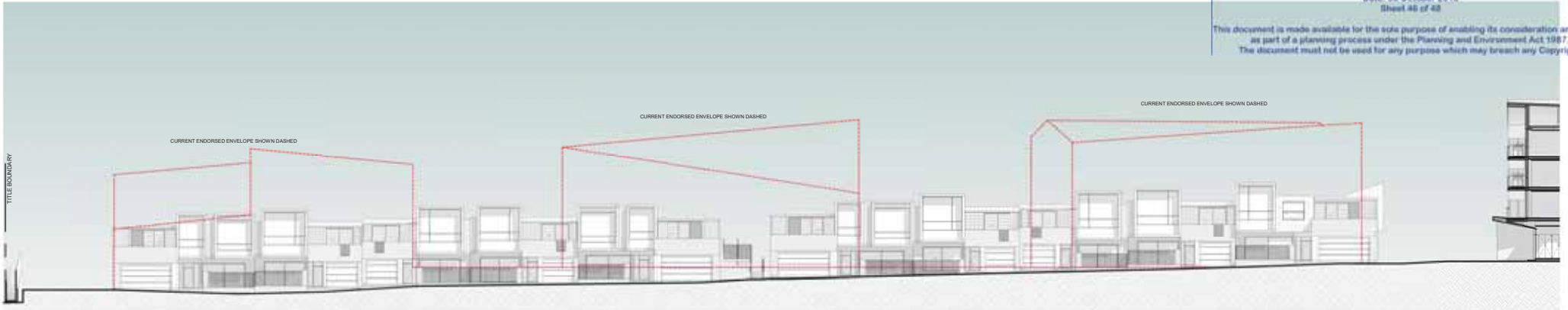
2 MASTERPLAN - COMPARISON  
SCALE 1: 500

PLANNING AND ENVIRONMENT ACT 1987  
MANNINGHAM PLANNING SCHEME

ADVERTISED PLANS

Planning Application Number: PLN18/0336  
Date: 08 October 2018  
Sheet 46 of 48

This document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any Copyright.



1 SOUTH ELEVATION - COMPARISON  
SCALE 1: 200



CHT Architects Pty Ltd  
44 Oxford Street  
Collingwood VIC 3066  
Post Office Box 1302  
Collingwood VIC 3066  
Telephone 03 9417 1844  
Facsimile 03 9415 1847

Copyright © CHT Architects Pty Ltd.  
The drawings, designs, and specifications and copyright therein are the property of CHT Architects Pty Ltd, and must not be saved, copied, or reproduced wholly or in part without the express written permission of CHT Architects Pty Ltd.  
Do not scale drawings. Use given dimensions only.  
Any discrepancy in drawings or specifications shall be referred to CHT Architects Pty Ltd.

Project  
**THE ORCHARDS**  
107 - 111 ANDERSONS CREEK ROAD, DONCASTER EAST

Client  
**BAPT CARE**

Amendments		
No.	Date	Notes
PS	11/05/2018	TOWN PLANNING SUBMISSION

Title  
**STAGE 3 - COMPARISON WITH ENDORSED DESIGN**

Sheet  
**PRELIMINARY TP**

Sheet No.  
**TP100**

Revision  
**P3**

Scale  
As Indicated@A1

Date  
11/05/2018

12/001 - 24/09/2018 9:16:06 AM

12001



**PROPOSED TREES**

<i>Acacia implexa</i> Lightwood	<i>Allocasuarina littoralis</i> Black Sheoak
<i>Citrus limon</i> 'Meyer' Meyer Lemon	<i>Corymbia citriodora</i> 'Scentuous' Dwarf Lemon Scented Gum
<i>Corymbia maculata</i> Spotted Gum	<i>Gleditsia triacanthos</i> 'Sunburst' Honey Locust
<i>Fortunella margarita</i> 'Nagami' Nagami Kumquat	<i>Lagerstroemia indica</i> 'Natchez' Crepe Myrtle (white flowering)
<i>Hymenosporum flavum</i> Native Frangipani	<i>Lagerstroemia indica</i> 'Tuscarora' Crepe Myrtle (pink flowering)
<i>Malus insois</i> 'Plena' Iowa Crab Apple	<i>Pyrus calleryana</i> 'Aristocrat' Ornamental Pear
<i>Ulmus parvifolia</i> Chinese Elm	<i>Tristanopsis laurina</i> 'Luscious' Kanooka
<i>Zelkova serrata</i> 'Green Vase' Japanese Zelkova	

**LEGEND**

	Proposed grassed area
	Proposed water efficient garden areas. Refer to plant schedule for codes
	Proposed water efficient garden areas in raised/terraced planters. Refer to plant schedule for codes
	Proposed WSUD element
	Proposed unplanted mulch garden beds for resident use
	Proposed compacted gravel
	Proposed exposed aggregate concrete paving
	Proposed plain grey concrete paving
	Proposed feature paving
	Proposed shared zone
	Proposed vehicular grade concrete
	Proposed bench seat
	Proposed retaining wall
	Proposed retaining with battens fence/balustrade
	Proposed retaining boulders
	Proposed lower ground floor building outline
	Proposed ground floor building outline
	Proposed upper ground floor building outline
	Proposed street light
	Proposed bollard light
	Proposed step light for stairs and ramps
	Proposed wall lights for shelter
	Proposed uplights for feature trees

PLANNING AND ENVIRONMENT ACT 1987  
MANNINGHAM PLANNING SCHEME

**ADVERTISED PLANS**

Planning Application Number: PLN180338  
Date: 08 October 2018  
Sheet 47 of 48

This document is made available for the sole purpose of enabling its consideration and review, as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any Copyright.

- NOTES:**
1. Location of services to be determined prior to construction.
  2. This drawing is based on the plans by CHT Architects.
  3. Drainage: A suitable drainage system is to be installed over the whole site.
  4. Mulch: Minimum 75mm mulch to be spread on all planting beds.
  5. Planting: All plants to be healthy, disease free specimens. Fertiliser to be applied to plants if required to assist site establishment. All plants to be watered following planting.
  6. Watering: All watering during construction and maintenance to be in accordance with current water restrictions.
  7. Irrigation: A site specific irrigation system (if required) to be designed and installed by suitably qualified irrigation specialists.
  8. Trees: The landscape design seeks to maximise the number of trees being planted within the site to provide benefits including shade, visual softening of built form, a garden character, and seasonal interest. In order to address the challenges of planting canopy trees into excavated areas hardy tree species have been selected and tree planting holes will be generous to allow space for root growth. Drainage will also be provided to the base of planting holes to alleviate potential retention of excessive water.

**ffla**  
fitzgerald frisby landscape architecture

www.ffla.com.au  
08 100 100 100

client  
**Baptcare**

project  
**Baptcare Orchard Community - Stage 3**  
address  
107-111 Andersons Creek Road, Templestowe

drawing name  
**Landscape Plan**

drawing number  
**0667-008-L0001**

status  
not for construction

scale (A3)  
1:500

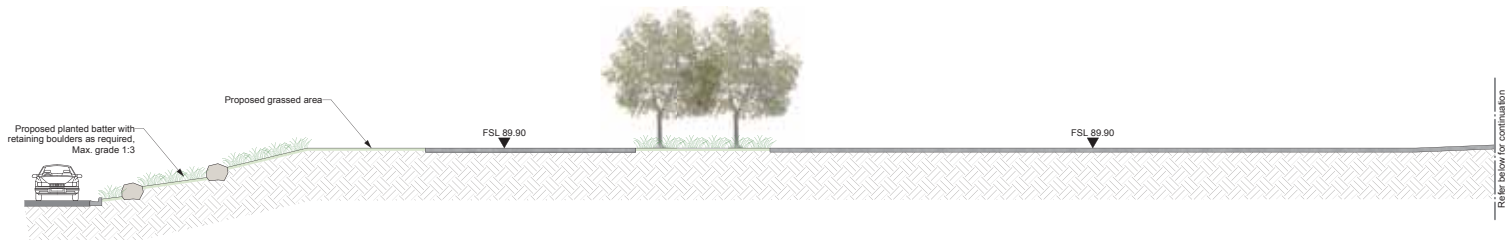
scale (A1)  
1:250

revision  
**TP2**

issued  
approved

drawn  
AO

date  
25.09.2018

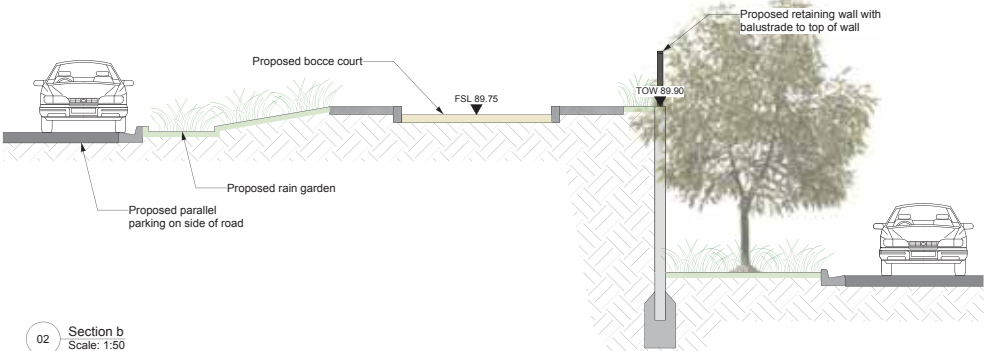


PLANNING AND ENVIRONMENT ACT 1987  
 MANNINGHAM PLANNING SCHEME  
 ADVERTISED PLANS  
 Planning Application Number: PU180336  
 Date: 08 October 2018  
 Sheet 48 of 48

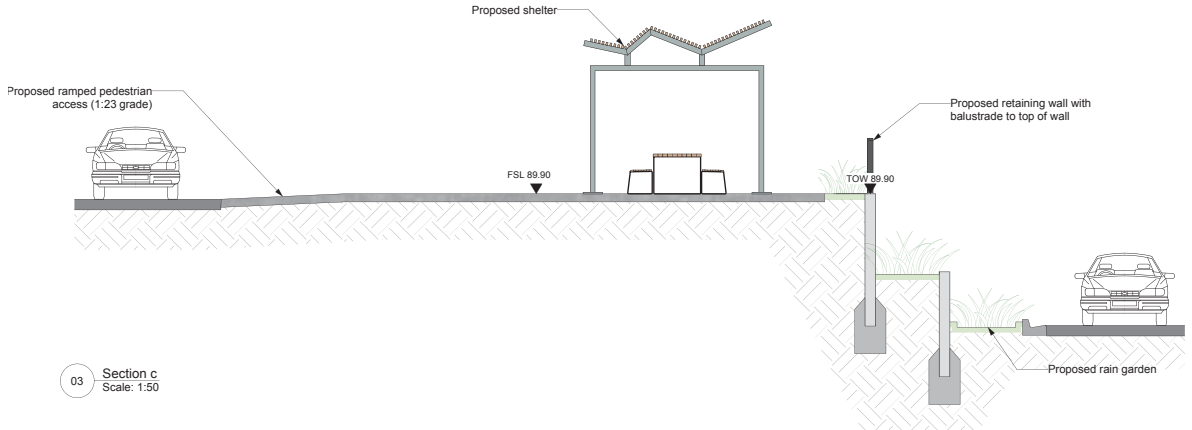
This document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any Copyright.



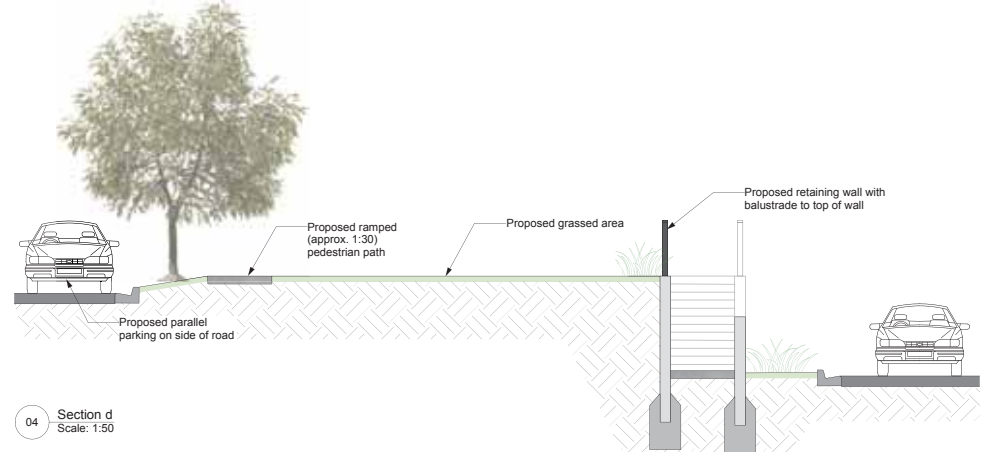
01 Section a Scale: 1:100



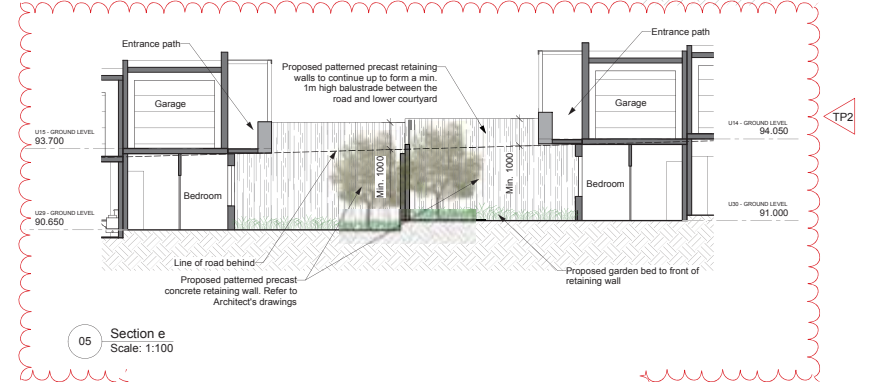
02 Section b Scale: 1:50



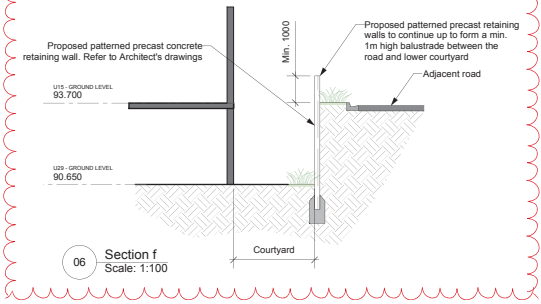
03 Section c Scale: 1:50



04 Section d Scale: 1:50



05 Section e Scale: 1:100



06 Section f Scale: 1:100

**ffla**  
 fitzgerald frisby landscape architecture  
 www.ffla.com.au  
 08 100 100 100

client  
**Baptcare**  
 project  
**Baptcare Orchard Community - Stage 3**  
 address  
 107-111 Andersons Creek Road, Templestowe

drawing name	Landscape Sections		
drawing number	0667-008-L0002		
revision	status	scale (A3)	revision
	not for construction	as indicated	TP2
approved	drawn	date	
TF	AJO	25.09.2018	

## **5. LEGISLATIVE REQUIREMENTS**

### **5.1 PLANNING AND ENVIRONMENT ACT 1987 (THE ACT)**

The *Planning and Environment Act 1987* is the relevant legislation governing planning in Victoria. The Act identifies subordinate legislation in the form of Planning Schemes to guide future land use and development.

Section 60 of The *Planning and Environment Act*, requires the Responsible Authority to consider the following before deciding on an application:

- *The relevant planning scheme;*
- *The objectives of planning in Victoria;*
- *All objections and other submissions which it has received;*
- *Any decision and comments of a referral authority which it has received; and*
- *Any significant effects which the responsible authority considers the use or development may have on the environment or which the responsible authority considers the environment may have on the use or development.*

Section 61(4) of the Act makes specific reference to covenants. Under Section 61(4) of the *Planning & Environment Act 1987* the Responsible Authority must not issue a planning permit that would result in a breach of a registered restrictive covenant.

### **5.2 MANNINGHAM PLANNING SCHEME**

**Clauses of the Manningham Planning Scheme the Responsible Authority must consider:**

- Planning Policy Framework
- Local Planning Policy Framework
- Clause 34.01 General Residential Zone
- Clause 52.06 Car Parking
- Clause 65 Decision Guidelines

#### **Zone**

##### Clause 32.08 General Residential Zone, Schedule 3

The purpose of the Zone is:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To encourage development that respects the neighbourhood character of the area.*
- *To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.*
- *To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.*

A Planning Permit is required to construct a building or construct or carry out works, and for the use of the land for “retirement village”.

#### **Planning Policy Framework**

The relevant sections of the state planning policy framework are as follows:

Clause 11.03-1S (Activity Centres) includes the objective to build up activity centres as a focus for high-quality development, activity and living for the whole community.



Clause 15.01-1 (Building Design) seeks to create building design outcomes that contribute positively to the local context and enhance the public realm.

Strategies towards achieving this are identified as follows:

- *Require a comprehensive site analysis as the starting point of the design process.*
- *Ensure the site analysis provides the basis for the consideration of height, scale and massing of new development.*
- *Ensure development responds and contributes to the strategic and cultural context of its location.*
- *Minimise the detrimental impact of development on neighbouring properties, the public realm and the natural environment.*
- *Ensure the form, scale, and appearance of development enhances the function and amenity of the public realm.*
- *Ensure buildings and their interface with the public realm support personal safety, perceptions of safety and property security.*
- *Ensure development is designed to protect and enhance valued landmarks, views and vistas.*
- *Ensure development provides safe access and egress for pedestrians, cyclists and vehicles.*
- *Ensure development provides landscaping that responds to its site context, enhances the built form and creates safe and attractive spaces.*
- *Encourage development to retain existing vegetation*

Responsible Authorities are required to have regard to *Urban Design Guidelines for Victoria (Department of Environment, Land, Water and Planning, 2017)*

Clause 15.01-1S (Building Design) seeks to create urban environments that are safe, healthy, functional and enjoyable and that contribute to a sense of place and cultural identity, and also requires consideration of the *Urban Design Guidelines for Victoria (Department of Environment, Land, Water and Planning, 2017)*.

Clause 15.01-5S (Neighbourhood Character) seeks to ensure development responds to cultural identity and contributes to existing or preferred neighbourhood character.

Clause 15.02-1 (Sustainable development) seeks to encourage land use and development that is consistent with the efficient use of energy and the minimisation of greenhouse gas emissions.

Clause 16.01-3 (Housing Diversity) seeks to provide for a range of housing types to meet diverse needs.

Clause 16.01-2S (Location of residential development) seeks to locate new housing in designated locations that offer good access to jobs, services and transport.

Clause 16.01-1S (integrated Housing) seeks to promote a housing market that meets community needs.

Strategies towards achieving this are identified as follows:

- *Increase the supply of housing in existing urban areas by facilitating increased housing yield in appropriate locations, including under-utilised urban land.*
- *Ensure that an appropriate quantity, quality and type of housing is provided, including aged care facilities and other housing suitable for older people, supported*

*accommodation for people with disability, rooming houses, student accommodation and social housing.*

- *Ensure housing developments are integrated with infrastructure and services, whether they are located in existing suburbs, growth areas or regional towns.*

## **Local Planning Policy Framework (LPPF)**

### **Municipal Strategic Statement**

#### Clause 21.03 Key Influences

This clause identifies that future housing need and residential amenity are critical land-use issues that will challenge Manningham's future growth and sustainable development. The MSS acknowledges that there is a general trend towards smaller household size as a result of an aging population and smaller family structure which will lead to an imbalance between the housing needs of the population and the actual housing stock that is available.

This increasing pressure for re-development raises issues about how these changes affect the character and amenity of our local neighbourhoods. In meeting future housing needs, the challenge is to provide for residential re-development in appropriate locations, to reduce pressure for development in more sensitive areas, and in a manner that respects the residential character and amenity valued by existing residents.

#### Clause 21.05 Residential

This policy outlines the division of Manningham into four Residential Character Precincts. The precincts seek to channel increased housing densities around activity centres and main roads where facilities and services are available. In areas which are removed from these facilities a lower intensity of development is encouraged. A low residential density is also encouraged in areas that have identified environmental or landscape features.

A substantial level of change is anticipated in *Precinct 2- Residential Areas Surrounding Activity Centres and Along Main Roads* with these areas being a focus for higher density developments.

The Clause recognises the role of the Pines Activity Centre as a key Activity Centre within the municipality which provides a range of retail, commercial, community facilities and residential development opportunities. Whilst not specifically relevant to the site, the residential area around The Pines Activity Centre (shown on Manningham Planning Scheme maps as DDO9) is an area where development ranging in height from 11 metres to 16 metres is encouraged in designated areas, as identified in The Pines Activity Centre Structure Plan (2011).

Clause 21.05-2 identifies the relevant objectives, which includes:

- *To accommodate Manningham's projected population growth through urban consolidation, in infill developments and Key Redevelopment Sites.*
- *To ensure that housing choice, quality and diversity will be increased to better meet the needs of the local community and reflect demographic changes.*
- *To ensure that higher density housing is located close to activity centres and along main roads in accordance with relevant strategies.*
- *To promote affordable and accessible housing to enable residents with changing needs to stay within their local neighbourhood or the municipality.*
- *To encourage development of key Redevelopment Sites to support a diverse residential community that offers a range of dwelling densities and lifestyle opportunities.*

- *To encourage high quality and integrated environmentally sustainable development.*

The strategies to achieve these objectives include:

- *Ensure that the provision of housing stock responds to the needs of the municipality's population.*
- *Promote the consolidation of lots to provide for a diversity of housing types and design options.*
- *Ensure higher density residential development occurs around the prescribed activity centres and along main roads identified as Precinct 2 on the Residential Framework Plan 1 and Map 1 to this clause.*
- *Encourage development to be designed to respond to the needs of people with limited mobility, which may for example, incorporate lifts into three storey developments.*

#### Clause 21.09 Activity Centres and Commercial Areas

This section applies to all activity centres and commercial areas identified in Framework Plan 5.

The Clause acknowledges that the Pines, East Doncaster is the municipality's one and only Major Activity Centre.

The vision for the Pines Activity Centre will continue to be a focus for the community and to provide for their retail, community, recreational and entertainment needs as well as providing for a diversity of residential options within its context of being on the fringe of the metropolitan area of Melbourne and its proximity to the Green Wedge.

Key Strategic Objectives are:

- Support the development of The Pines Activity Centre which meets the social, recreational and retail needs of the population at the sub-regional level.
- Ensure that any future development in The Pines Activity Centre is in keeping with its location on the fringe of the urban area and its proximity to the Green Wedge.
- Encourage apartment style development within The Pines Activity Centre to maximise the use of the commercial and social facilities provided within and to provide alternative housing options for the locality.
- Encourage greater use of public transport to and from The Pines Activity Centre and advocate for more services and for these services to be provided more frequently.
- Enhance the public realm within The Pines Activity Centre by ensuring that the public spaces meet a range of community needs, are well linked together, are easily accessible, safe and visually pleasing.
- Maximise use of the area's natural strengths such as views to surrounding rural and bushland areas in keeping with the community interest.
- Support housing choices to meet changing demographic trends, especially an ageing population.
- Support a range of health, family and professional services relevant to the role of The Pines Activity Centre.
- Support a range of education and learning activities to meet the needs and aspirations of the local community.
- Provide for well-defined vehicular, bicycle and pedestrian access both with and external to all precincts, with strong pedestrian crossing points to be established on main roads.

The site is within Precinct 5 of the Structure Plan, which has the following action relevant to the site:

- *Support the development of additional community based facilities on site, such as a nursing home and related activities.*

The Framework Plan indicated 11m being the appropriate building height at the front of the site where the Residential Aged Care Facility is now located. It is silent on height behind this frontage. The Plan also includes an arrow linking the site with Andersons Park indicating 'improved pedestrian connection'.

#### Clause 21.10 Environmentally Sustainable Development

This Policy highlights Council's commitment to ESD and outlines a number of ESD principles to which regard must be given. These include building energy management, water sensitive design, external environmental amenity, waste management, quality of public and private realm and transport.

A number of considerations are to be made under the headings: key issues, objectives, and strategies.

#### **Local Planning Policy**

##### Clause 22.08 Safety through urban design

This policy applies to all land in Manningham. It endeavours to provide and maintain a safer physical environment for those who live in, work in or visit the City of Manningham. The policy seeks attractive, vibrant and walkable public spaces where crime, graffiti and vandalism is minimised.

##### Clause 22.09 Access for disabled people

This policy also applies to all land in Manningham. It seeks to ensure that people with a disability have the same level of access to buildings, services and facilities as any other person. The policy requires the needs of people with a disability to be taken into account in the design of all proposed developments.

##### Clause 22.12 Environmentally Sustainable Development

This policy applies throughout the City of Manningham to residential and non-residential development that requires a planning permit in accordance with the thresholds in Table 1 of this Policy (except for land affected by the Activity Centre Zone (Schedule 1) that applies to Doncaster Hill). The policy contains an overarching objective that development should achieve best practice in environmentally sustainable development from the design stage through to construction and operation.

#### **Particular Provisions**

##### Clause 52.06 Car Parking

Pursuant to Clause 52.06-5, car parking is required to be provided at the following rate:

- *1 space for 1 and 2 bedroom independent living unit.*
- *2 spaces for 3 or more bedroom independent living unit.*
- *1 visitor space to every 5 dwellings for developments of five or more dwellings, or 0 spaces if the land is identified within the Principal Public Transport Network Area as shown on the Principal Public Transport Network Area Maps (State Government of Victoria, August 2018).*

Clause 52.06-9 outlines various design standards for parking areas that should be achieved.

## **General Provisions**

### Clause 65 Decision Guidelines

This clause outlines that before deciding on an application, the responsible authority must consider, as appropriate:

- *The State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.*
- *The purpose of the zone, overlay or other provision.*
- *The orderly planning of the area.*
- *The effect on the amenity of the area.*