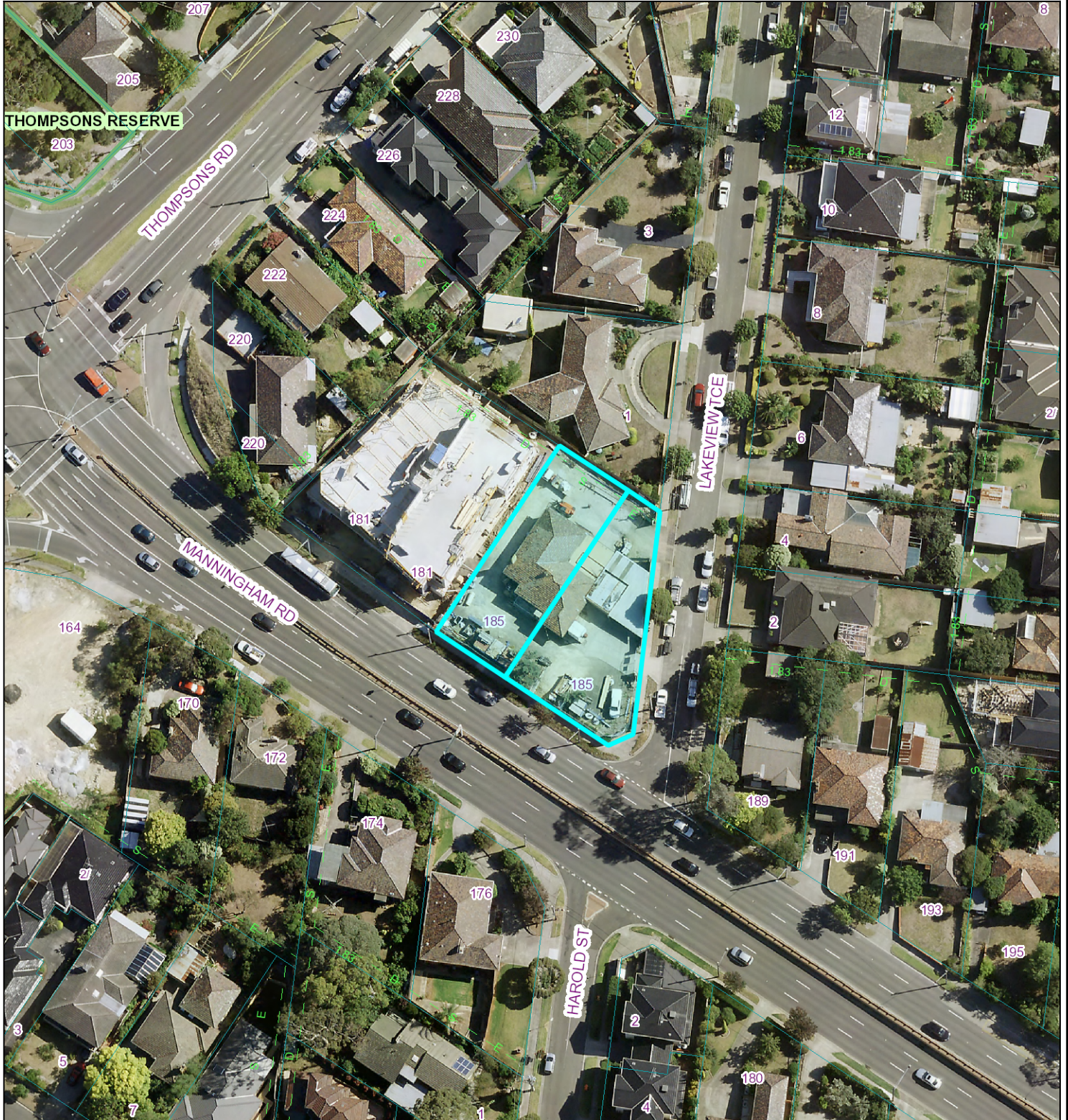
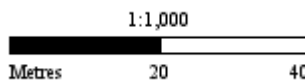


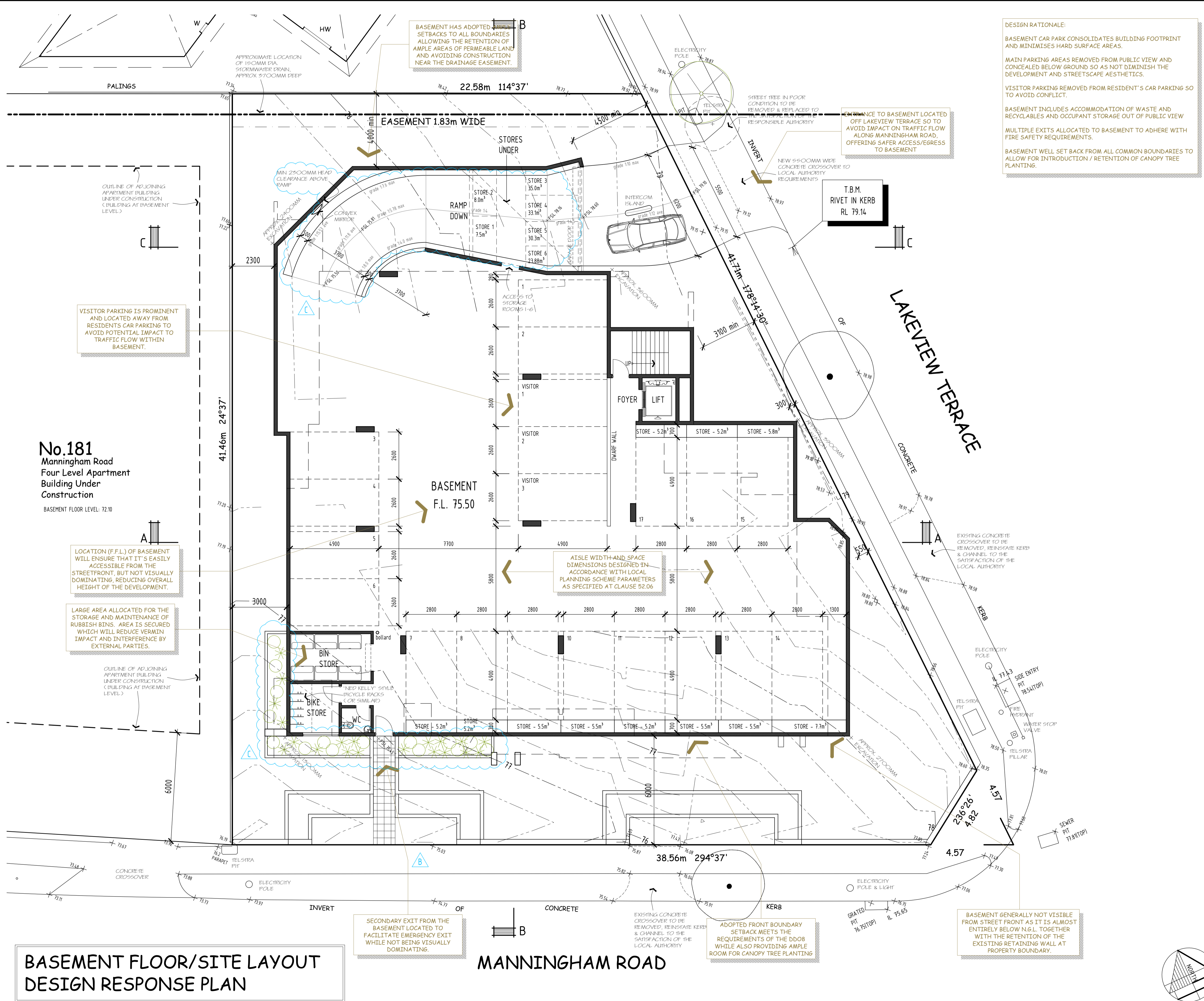
Location Map - 185-187 Manningham Road



Whilst all care has been taken in the preparation of this cadastral base map, Manningham and the State of Victoria accepts no responsibility for the accuracy of any information shown. Users should rely on their own enquiries in order to validate information shown on this map. This information is for Demonstration only.



12/11/2015 3:32 PM



DESIGN RATIONALE:

- BASEMENT CAR PARK CONSOLIDATES BUILDING FOOTPRINT AND MINIMISES HARD SURFACE AREAS.
- MAIN PARKING AREAS REMOVED FROM PUBLIC VIEW AND CONCEALED BELOW GROUND SO AS NOT DIMINISH THE DEVELOPMENT AND STREETSCAPE AESTHETICS.
- VISITOR PARKING REMOVED FROM RESIDENT'S CAR PARKING SO TO AVOID CONFLICT.
- BASEMENT INCLUDES ACCOMMODATION OF WASTE AND RECYCLABLES AND OCCUPANT STORAGE OUT OF PUBLIC VIEW
- MULTIPLE EXITS ALLOCATED TO BASEMENT TO ADHERE WITH FIRE SAFETY REQUIREMENTS.
- BASEMENT WELL SET BACK FROM ALL COMMON BOUNDARIES TO ALLOW FOR INTRODUCTION / RETENTION OF CANOPY TREE PLANTING.

- LEGEND**
- BOXED NOTES SHOWN THUS... ON PROPOSAL PLANS DETAIL DESIGN RESPONSES DERIVED FROM THE NEIGHBOURHOOD & SITE CONTEXT
 - EXISTING TREE ON ADJOINING PROPERTY.
 - TREE ON SUBJECT SITE TO BE REMOVED
 - POSSIBLE CANOPY TREE LOCATION
 - PROPOSED EVERGREEN PLANTING TO CONTRIBUTE TO SCREENING UP TO 3 M. HIGH
 - SELECTED PAVERS OR STAMPED COLOURED CONCRETE

AREAS

	m ²	Imperial squares
BASEMENT FLOOR	792.7	85.3
GROUND FLOOR	608.3	65.5
FIRST FLOOR	685.3	73.8
SECOND FLOOR	473.6	50.9 (69% of FIRST FLOOR)
Site Area	1352.70 metres ²	
Site Coverage (buildings)	799.0 metres ² = 59.0 % of site area	
Hard Surface Area (impervious)	885.88 metres ² = 73.1 % of site area	

Parking Schedule

RESIDENTS	17 Spaces
VISITORS	3 Spaces (on site)
Total:	20 Spaces

NOTE: ALL LEVELS TO A.H.D. UNLESS OTHERWISE NOTED

06-10-2015	'C' Voluntary Amendment Issue
08-04-2015	'B' RFI Issue
26-11-2014	'A' Town Planning Discussion Issue
30-09-2014	Town Planning Application Issue
DATE:	REVISION:



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building design & planning

PROJECT: Proposed Apartment Development

at 185-187 Manningham Road
 Templestowe Lower
 for Mr. Salerno

Basement Floor Plan

DATE:	August 2014
SCALE:	1 : 100 @A1
DRAWN:	D.A.H.
SHEET NO:	2 of 9
JOB NO:	14-010
REV:	C

BASEMENT FLOOR/SITE LAYOUT DESIGN RESPONSE PLAN

MANNINGHAM ROAD

No.181
 Manningham Road
 Four Level Apartment
 Building Under
 Construction
 BASEMENT FLOOR LEVEL: 72.10

LOCATION (F.F.L.) OF BASEMENT WILL ENSURE THAT IT'S EASILY ACCESSIBLE FROM THE STREETFRONT, BUT NOT VISUALLY DOMINATING, REDUCING OVERALL HEIGHT OF THE DEVELOPMENT.

LARGE AREA ALLOCATED FOR THE STORAGE AND MAINTENANCE OF RUBBISH BINS. AREA IS SECURED WHICH WILL REDUCE VERMIN IMPACT AND INTERFERENCE BY EXTERNAL PARTIES.

OUTLINE OF ADJOINING APARTMENT BUILDING UNDER CONSTRUCTION (BUILDING AT BASEMENT LEVEL)

BASEMENT HAS ADOPTED SETBACKS TO ALL BOUNDARIES ALLOWING THE RETENTION OF AMPLE AREAS OF PERMEABLE LAND AND AVOIDING CONSTRUCTION NEAR THE DRAINAGE EASEMENT.

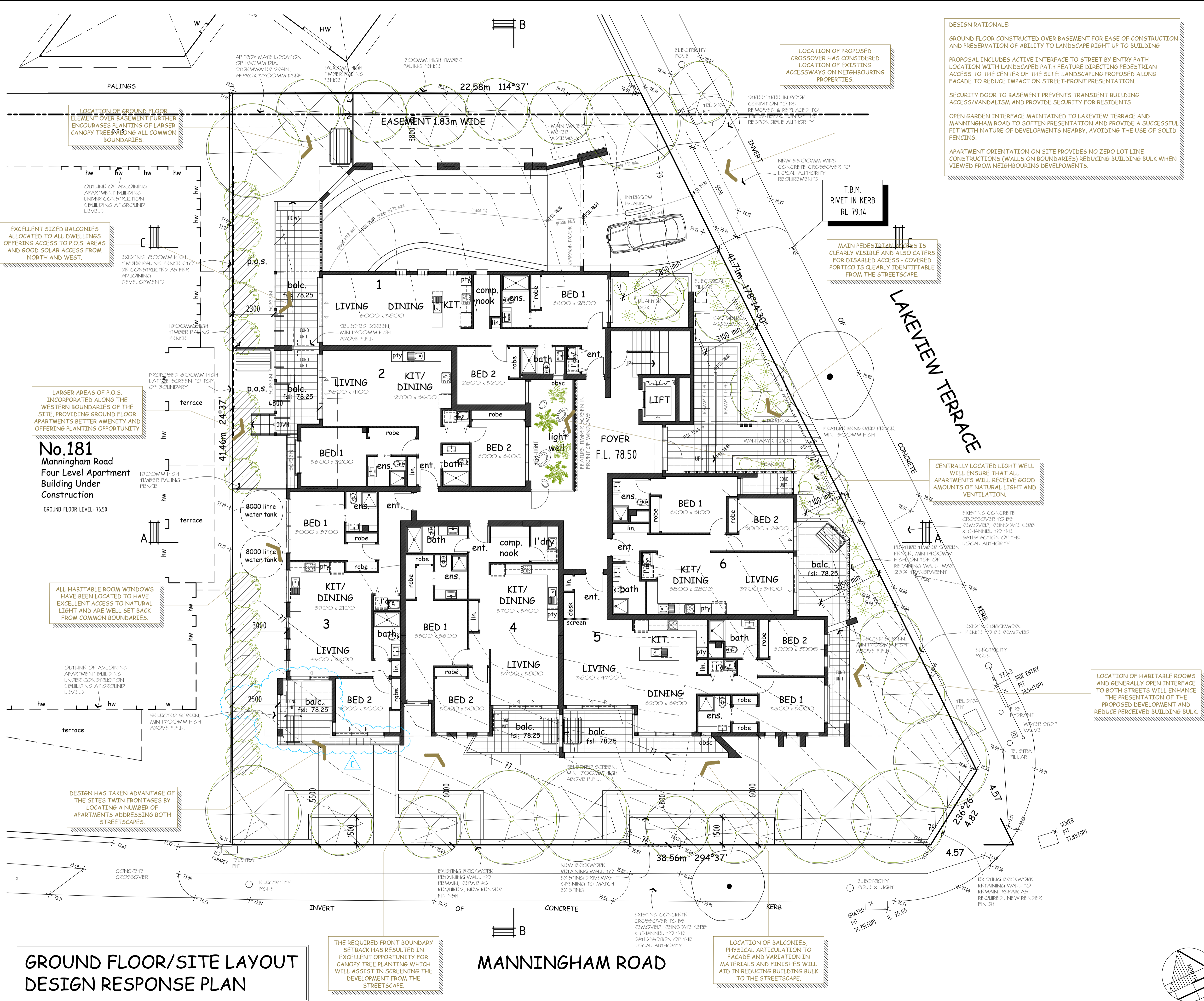
VISITOR PARKING IS PROMINENT AND LOCATED AWAY FROM RESIDENTS CAR PARKING TO AVOID POTENTIAL IMPACT TO TRAFFIC FLOW WITHIN BASEMENT.

AISLE WIDTH AND SPACE DIMENSIONS DESIGNED IN ACCORDANCE WITH LOCAL PLANNING SCHEME PARAMETERS AS SPECIFIED AT CLAUSE 52.06

SECONDARY EXIT FROM THE BASEMENT LOCATED TO FACILITATE EMERGENCY EXIT WHILE NOT BEING VISUALLY DOMINATING.

ADOPTED FRONT BOUNDARY SETBACK MEETS THE REQUIREMENTS OF THE DD08 WHILE ALSO PROVIDING AMPLE ROOM FOR CANOPY TREE PLANTING

BASEMENT GENERALLY NOT VISIBLE FROM STREET FRONT AS IT IS ALMOST ENTIRELY BELOW N.G.L. TOGETHER WITH THE RETENTION OF THE EXISTING RETAINING WALL AT PROPERTY BOUNDARY.



DESIGN RATIONALE:

GROUND FLOOR CONSTRUCTED OVER BASEMENT FOR EASE OF CONSTRUCTION AND PRESERVATION OF ABILITY TO LANDSCAPE RIGHT UP TO BUILDING

PROPOSAL INCLUDES ACTIVE INTERFACE TO STREET BY ENTRY PATH LOCATION WITH LANDSCAPED PATH FEATURE DIRECTING PEDESTRIAN ACCESS TO THE CENTER OF THE SITE. LANDSCAPING PROPOSED ALONG FACADE TO REDUCE IMPACT ON STREET-FRONT PRESENTATION.

SECURITY DOOR TO BASEMENT PREVENTS TRANSIENT BUILDING ACCESS/VANDALISM AND PROVIDE SECURITY FOR RESIDENTS

OPEN GARDEN INTERFACE MAINTAINED TO LAKEVIEW TERRACE AND MANNINGHAM ROAD TO SOFTEN PRESENTATION AND PROVIDE A SUCCESSFUL FIT WITH NATURE OF DEVELOPMENTS NEARBY, AVOIDING THE USE OF SOLID FENCING.

APARTMENT ORIENTATION ON SITE PROVIDES NO ZERO LOT LINE CONSTRUCTIONS (WALLS ON BOUNDARIES) REDUCING BUILDING BULK WHEN VIEWED FROM NEIGHBOURING DEVELOPMENTS.

- LEGEND**
- BOXED NOTES SHOWN THUS... ON PROPOSAL PLANS DETAIL DESIGN RESPONSES DERIVED FROM THE NEIGHBOURHOOD & SITE CONTEXT
 - EXISTING TREE ON ADJOINING PROPERTY.
 - TREE ON SUBJECT SITE TO BE REMOVED
 - POSSIBLE CANOPY TREE LOCATION
 - PROPOSED EVERGREEN PLANTING TO CONTRIBUTE TO SCREENING UP TO 3 M. HIGH
 - SELECTED PAVERS OR STAMPED COLOURED CONCRETE

AREAS

	m ²	imperial squares
GROUND FLOOR	608.3	65.5
Apartment 1	89.96	9.7
balcony	19.92	
POS	56.10	
Apartment 2	82.38	8.9
balcony	12.80	
POS	19.81	
Apartment 3	82.23	8.9
balcony	14.21	
Apartment 4	95.24	10.3
balcony	9.9	
Apartment 5	97.99	10.6
balcony	13.8	
Apartment 6	79.24	8.5
POS	21.9	

NOTE: ALL LEVELS TO A.H.D. UNLESS OTHERWISE NOTED

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30-09-2014	Town Planning Application Issue

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building design & planning

PROJECT: Proposed Apartment Development

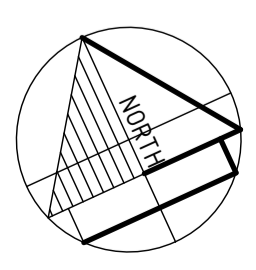
at 185-187 Manningham Road
Templestowe Lower
for Mr. Salerno

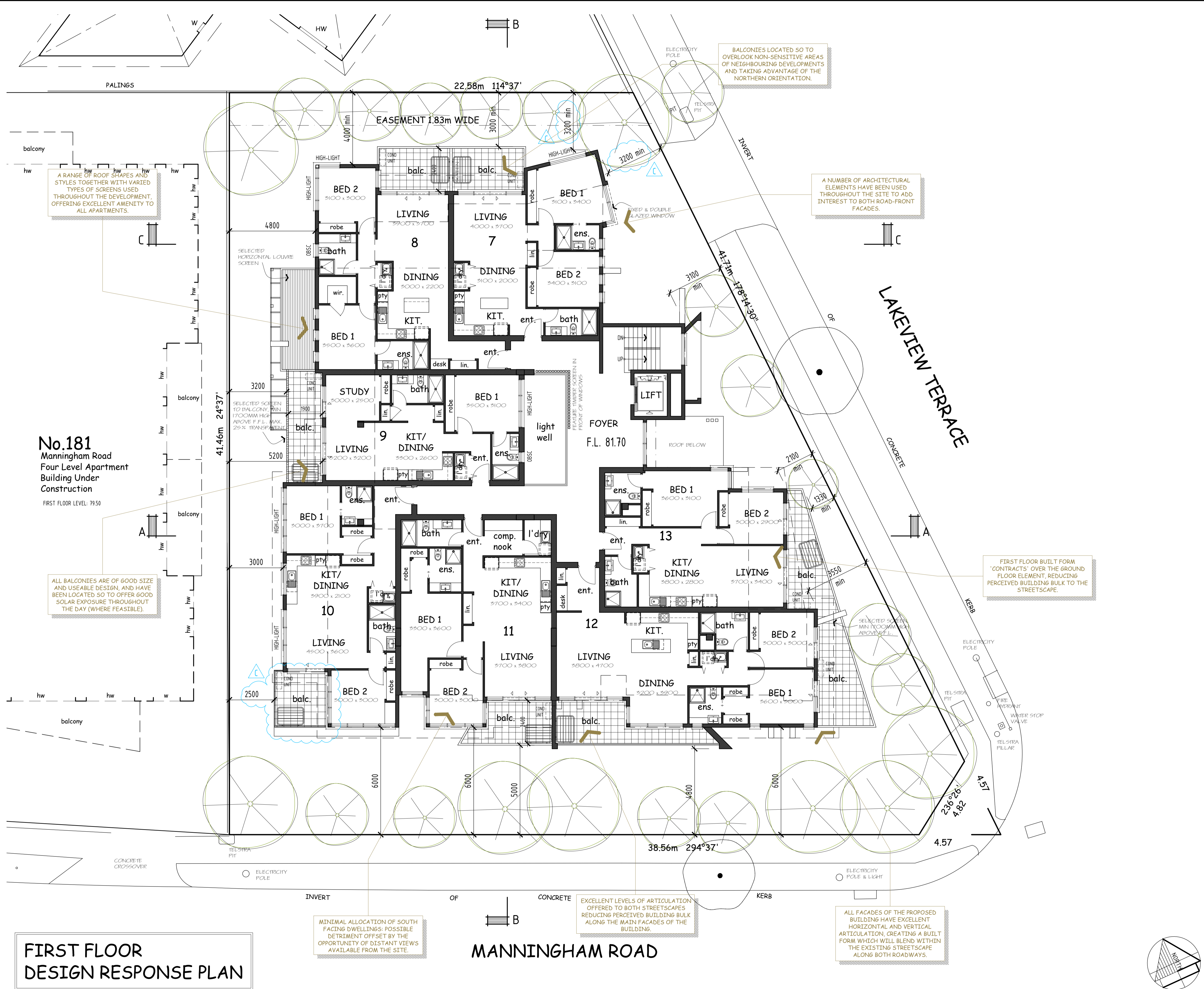
Ground Floor Plan

DATE:	August 2014
SCALE:	1 : 100 @A1
DRAWN:	D.A.H.
SHEET NO.:	3 of 9
JOB NO.:	14-010
REV.:	C

GROUND FLOOR/SITE LAYOUT DESIGN RESPONSE PLAN

MANNINGHAM ROAD





LEGEND

BOXED NOTES SHOWN THUS... ON PROPOSAL PLANS DETAIL DESIGN RESPONSES DERIVED FROM THE NEIGHBOURHOOD & SITE CONTEXT

- EXISTING TREE ON ADJOINING PROPERTY.
- TREE ON SUBJECT SITE TO BE REMOVED
- POSSIBLE CANOPY TREE LOCATION
- PROPOSED EVERGREEN PLANTING TO CONTRIBUTE TO SCREENING UP TO 3 M. HIGH
- SELECTED PAVERS OR STAMPED COLOURED CONCRETE

AREAS

	m ²	imperial squares
FIRST FLOOR	685.3	73.8
Apartment 7 balcony	80.10	8.6
Apartment 8 balcony	88.51	9.5
Apartment 9 balcony	71.10	7.7
Apartment 10 balcony	82.30	8.9
Apartment 11 balcony	95.24	10.3
Apartment 12 balcony	97.99	10.6
Apartment 13 balcony	79.24	8.5

NOTE: ALL LEVELS TO A.H.D. UNLESS OTHERWISE NOTED

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DATE:	REVISION:



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building design & planning

PROJECT:
 Proposed Apartment Development

at 185-187 Manningham Road
 Templestowe Lower
 for Mr. Salerno

First Floor Plan

DATE:	August 2014
SCALE:	1 : 100 @A1
DRAWN:	D.A.H.
SHEET NO:	4 of 9
JOB NO:	14-010
REV:	C

FIRST FLOOR DESIGN RESPONSE PLAN

MANNINGHAM ROAD

A RANGE OF ROOF SHAPES AND STYLES TOGETHER WITH VARIED TYPES OF SCREENS USED THROUGHOUT THE DEVELOPMENT, OFFERING EXCELLENT AMENITY TO ALL APARTMENTS.

No.181
 Manningham Road
 Four Level Apartment Building Under Construction
 FIRST FLOOR LEVEL: 79.50

ALL BALCONIES ARE OF GOOD SIZE AND USEABLE DESIGN, AND HAVE BEEN LOCATED SO TO OFFER GOOD SOLAR EXPOSURE THROUGHOUT THE DAY (WHERE FEASIBLE).

MINIMAL ALLOCATION OF SOUTH FACING DWELLINGS: POSSIBLE DETRIMENT OFFSET BY THE OPPORTUNITY OF DISTANT VIEWS AVAILABLE FROM THE SITE.

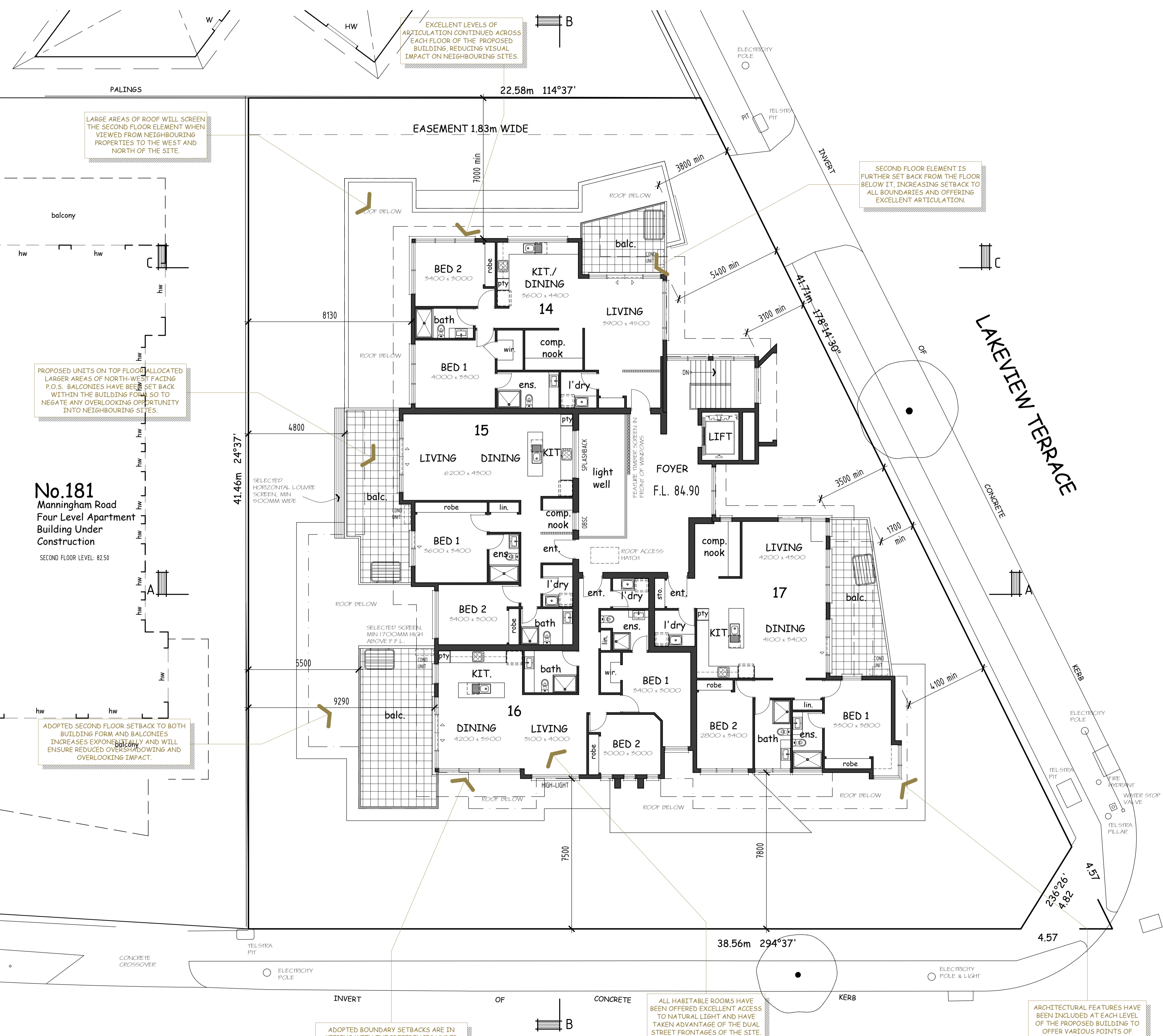
EXCELLENT LEVELS OF ARTICULATION OFFERED TO BOTH STREETSCAPES REDUCING PERCEIVED BUILDING BULK ALONG THE MAIN FACADES OF THE BUILDING.

ALL FACADES OF THE PROPOSED BUILDING HAVE EXCELLENT HORIZONTAL AND VERTICAL ARTICULATION, CREATING A BUILT FORM WHICH WILL BLEND WITHIN THE EXISTING STREETSCAPE ALONG BOTH ROADWAYS.

BALCONIES LOCATED SO TO OVERLOOK NON-SENSITIVE AREAS OF NEIGHBOURING DEVELOPMENTS AND TAKING ADVANTAGE OF THE NORTHERN ORIENTATION.

A NUMBER OF ARCHITECTURAL ELEMENTS HAVE BEEN USED THROUGHOUT THE SITE TO ADD INTEREST TO BOTH ROAD-FRONT FACADES.

FIRST FLOOR BUILT FORM 'CONTRACTS' OVER THE GROUND FLOOR ELEMENT, REDUCING PERCEIVED BUILDING BULK TO THE STREETSCAPE.



LEGEND

- BOXED NOTES SHOWN THUS... ON PROPOSAL PLANS DETAIL DESIGN RESPONSES DERIVED FROM THE NEIGHBOURHOOD & SITE CONTEXT
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- SELECTED PAVERS OR STAMPED COLOURED CONCRETE

AREAS

	m ²	imperial squares
SECOND FLOOR	476.3	51.3
Apartment 14 balcony	102.20 12.89	11.0
Apartment 15 balcony	97.51 34.77	10.5
Apartment 16 balcony	95.25 29.27	10.3
Apartment 17 balcony	111.94 19.17	12.0

NOTE:
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UNLESS OTHERWISE NOTED

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30-09-2014	Town Planning Application Issue
DATE:	REVISION:

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building design & planning

PROJECT:
Proposed Apartment Development
at 185-187 Manningham Road
Templestowe Lower
for Mr. Salerno

Second Floor Plan

DATE: August 2014
SCALE: 1 : 100 @A1
DRAWN: D.A.H.
SHEET NO: 5 of 9
JOB NO: 14-010 REV: C

SECOND FLOOR DESIGN RESPONSE PLAN

ADOPTED BOUNDARY SETBACKS ARE IN KEEPING WITH THE PREFERENCES UNDER THE SCHEME AND REFLECT THOSE ADOPTED BY THE NEIGHBOURING BUILDING TO THE WEST (CURRENTLY UNDER CONSTRUCTION)

ALL HABITABLE ROOMS HAVE BEEN OFFERED EXCELLENT ACCESS TO NATURAL LIGHT AND HAVE TAKEN ADVANTAGE OF THE DUAL STREET FRONTAGES OF THE SITE

ARCHITECTURAL FEATURES HAVE BEEN INCLUDED AT EACH LEVEL OF THE PROPOSED BUILDING TO OFFER VARIOUS POINTS OF INTEREST AND IMPROVE ARTICULATION.

LARGE AREAS OF ROOF WILL SCREEN THE SECOND FLOOR ELEMENT WHEN VIEWED FROM NEIGHBOURING PROPERTIES TO THE WEST AND NORTH OF THE SITE.

PROPOSED UNITS ON TOP FLOOR ALLOCATED LARGER AREAS OF NORTH-WEST FACING P.O.S. BALCONIES HAVE BEEN SET BACK WITHIN THE BUILDING FORM SO TO NEGATE ANY OVERLOOKING OPPORTUNITY INTO NEIGHBOURING SITES.

ADOPTED SECOND FLOOR SETBACK TO BOTH BUILDING FORM AND BALCONIES INCREASES EXPONENTIALLY AND WILL ENSURE REDUCED OVERSHADOWING AND OVERLOOKING IMPACT.

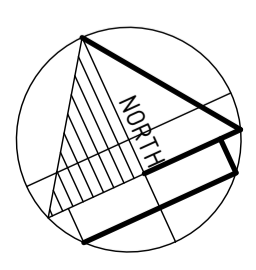
EXCELLENT LEVELS OF ARTICULATION CONTINUED ACROSS EACH FLOOR OF THE PROPOSED BUILDING, REDUCING VISUAL IMPACT ON NEIGHBOURING SITES.

SECOND FLOOR ELEMENT IS FURTHER SET BACK FROM THE FLOOR BELOW IT, INCREASING SETBACK TO ALL BOUNDARIES AND OFFERING EXCELLENT ARTICULATION.

No.181
Manningham Road
Four Level Apartment Building Under Construction
SECOND FLOOR LEVEL: 82.50

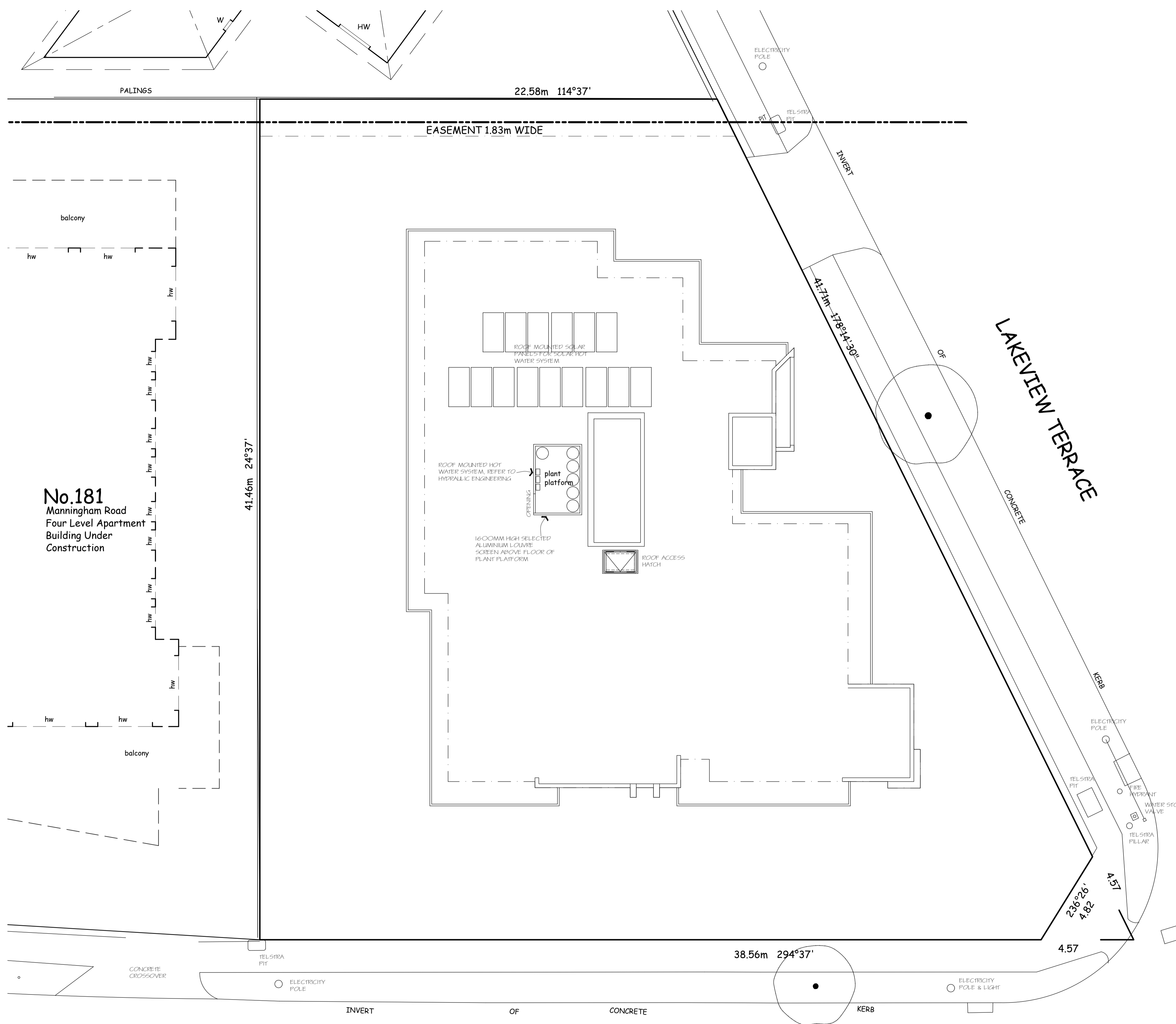
SECOND FLOOR DESIGN RESPONSE PLAN

MANNINGHAM ROAD



LEGEND

BOXED NOTES SHOWN THUS...
ON PROPOSAL PLANS DETAIL DESIGN
RESPONSES DERIVED FROM THE
NEIGHBOURHOOD & SITE CONTEXT



No.181
Manningham Road
Four Level Apartment
Building Under
Construction

**SECOND FLOOR ROOF
DESIGN RESPONSE PLAN**

MANNINGHAM ROAD

NOTE:
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06-10-2015	'C' Voluntary Amendment Issue
08-04-2015	'B' RFI Issue
26-11-2014	'A' Town Planning Discussion Issue
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DATE:	REVISION:

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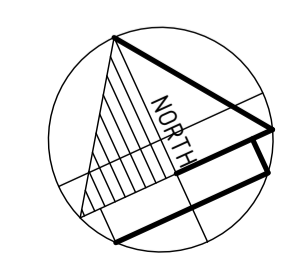
building design & planning

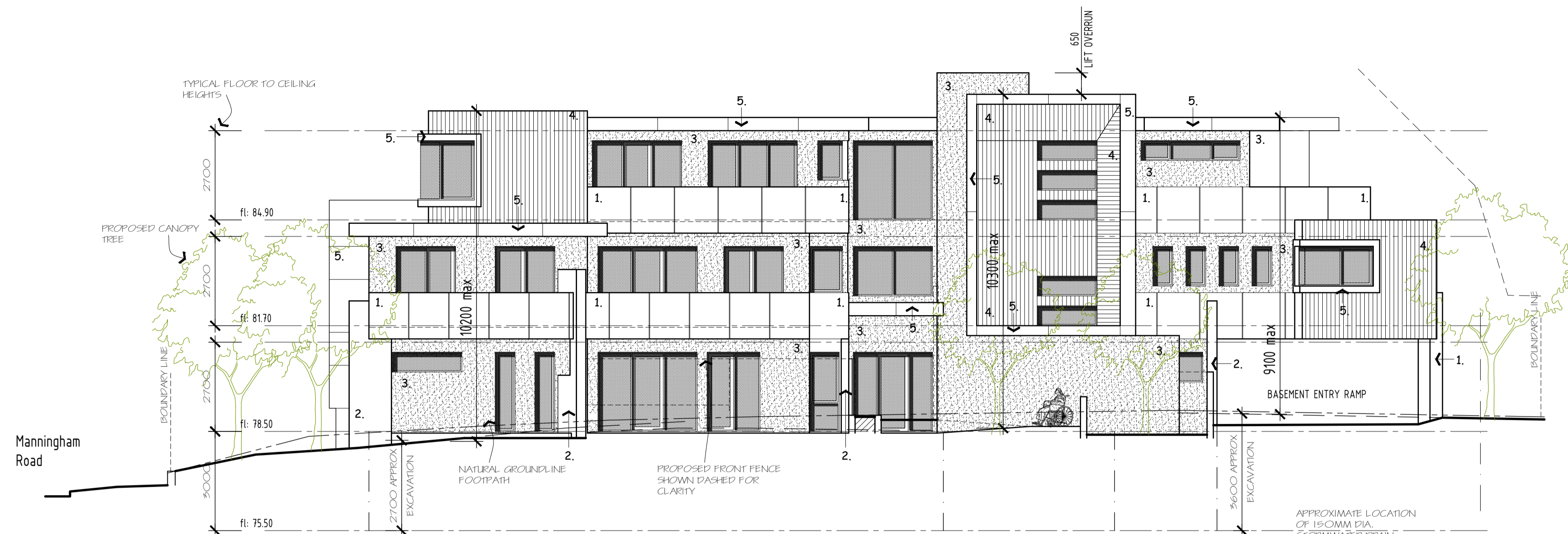
PROJECT:
Proposed Apartment Development

at **185-187 Manningham Road**
Templestowe Lower
for **Mr. Salerno**

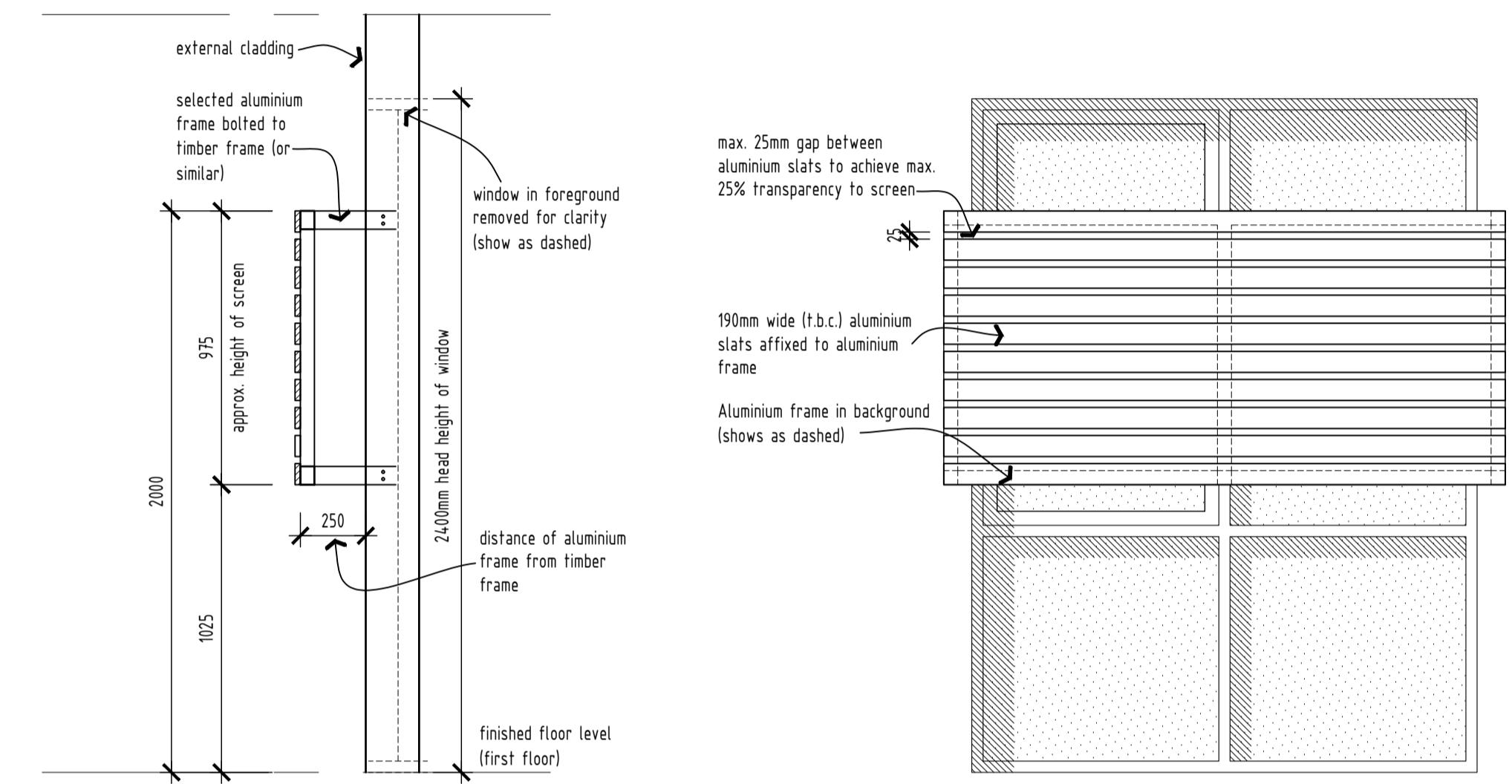
Second Floor Roof Plan

	DATE: August 2014
Building Designers Association of Victoria	SCALE: 1 : 100 @A1
Building Practitioners Board No. DP-AD1183	DRAWN: D.A.H.
	SHEET NO: 6 of 9
	JOB NO: 14-010 REV: C

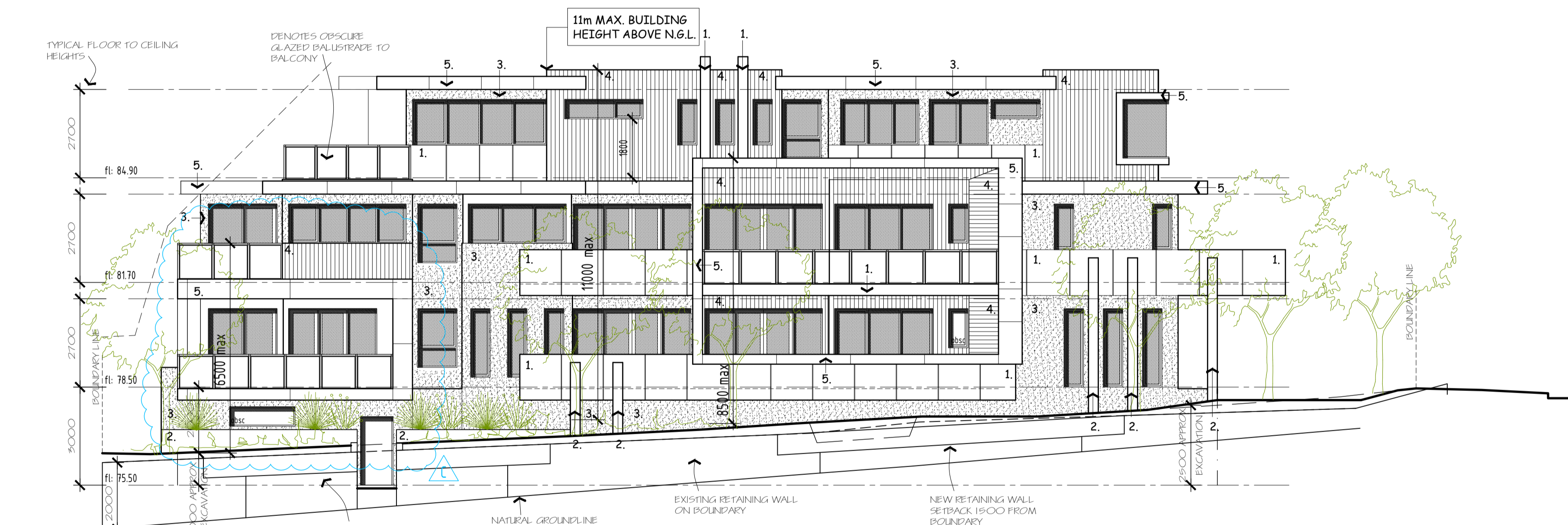




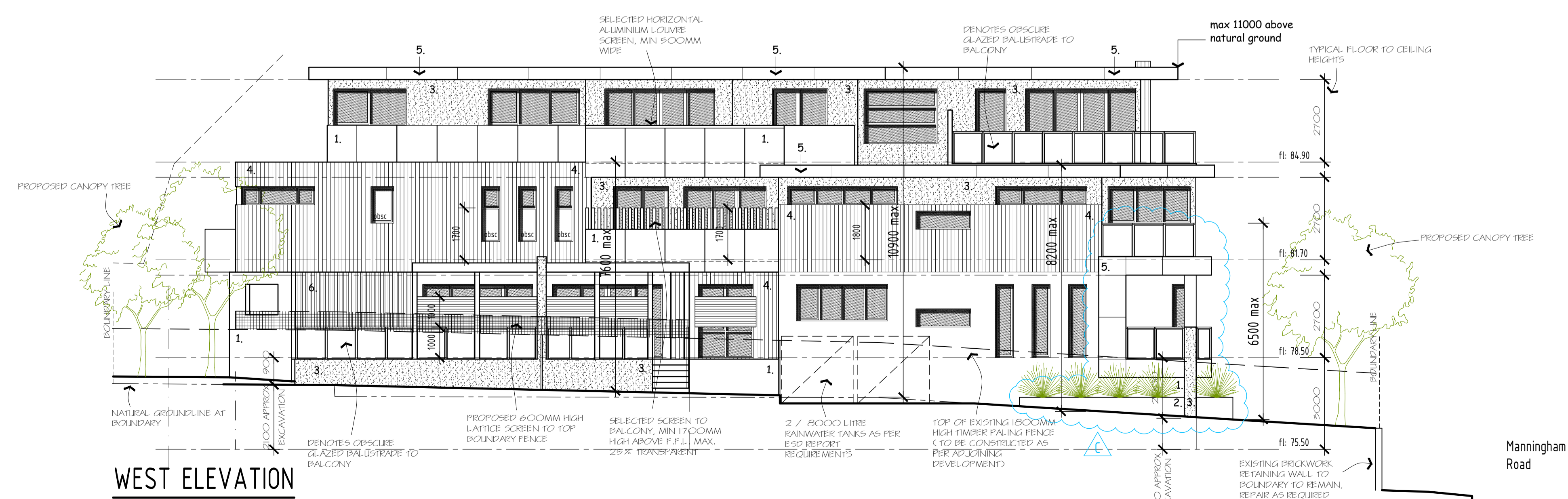
EAST ELEVATION



TIMBER WINDOW SCREEN



SOUTH ELEVATION



WEST ELEVATION

ELEVATIONS - DESIGN RESPONSE

SCHEDULE OF FINISHES

- 1. EXPRESS JOINT CLADDING
colour - 'dulux' excelior (P11A4) or similar
- 2. RENDER FINISH
colour - 'dulux' lexicon half (PCW7) or similar
- 3. RENDER FINISH
colour - 'dulux' black (P61A9) or similar
- 4. LIGHTWEIGHT CLADDING
'james hardie' panel clad sheet - texturline
colour - 'cabots' exterior varnish stain, rich walnut or similar
- 5. EXPRESS JOINT CLADDING
'alucobond' pure white 10 or similar
- 6. 'metalart' bush cherry or similar

06-10-2015	'C' Voluntary Amendment Issue
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DATE:	REVISION:



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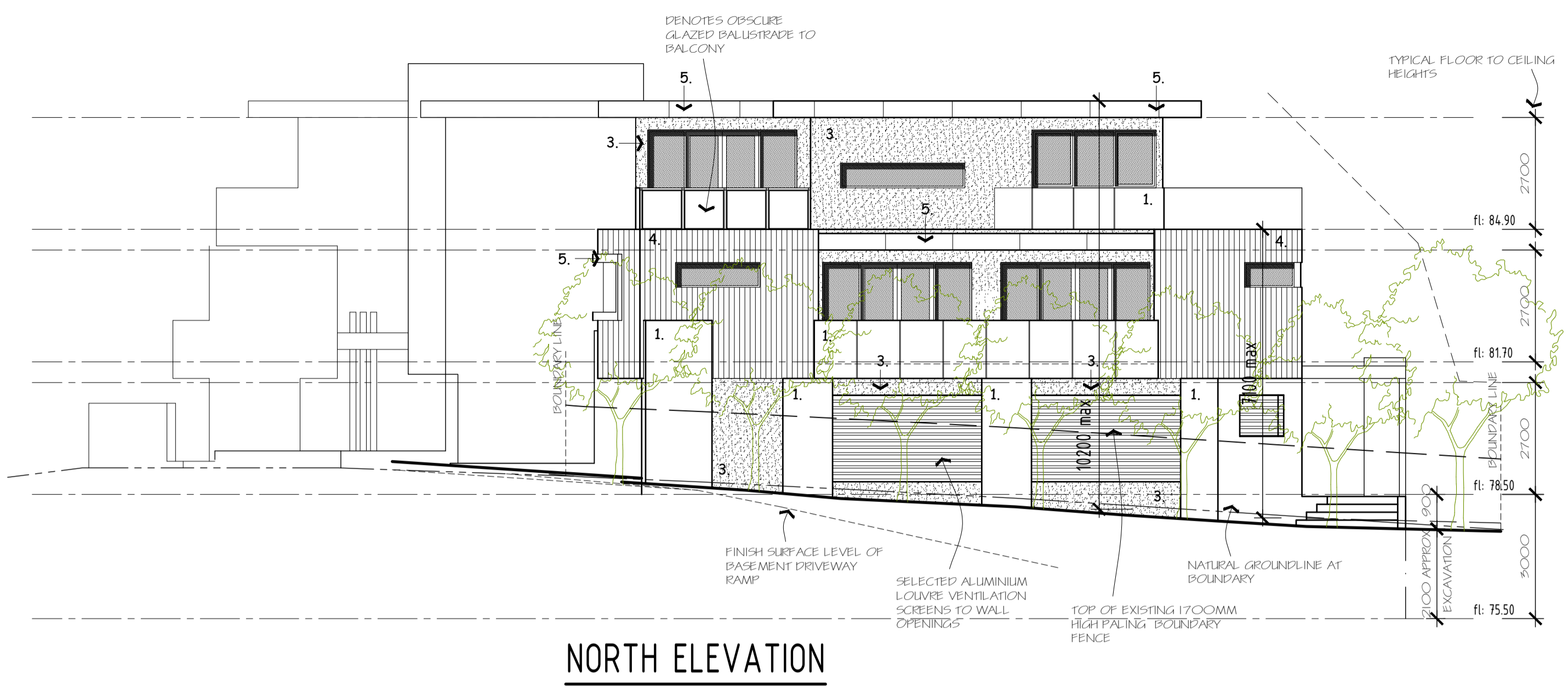
building design & planning

PROJECT:
Proposed Apartment Development

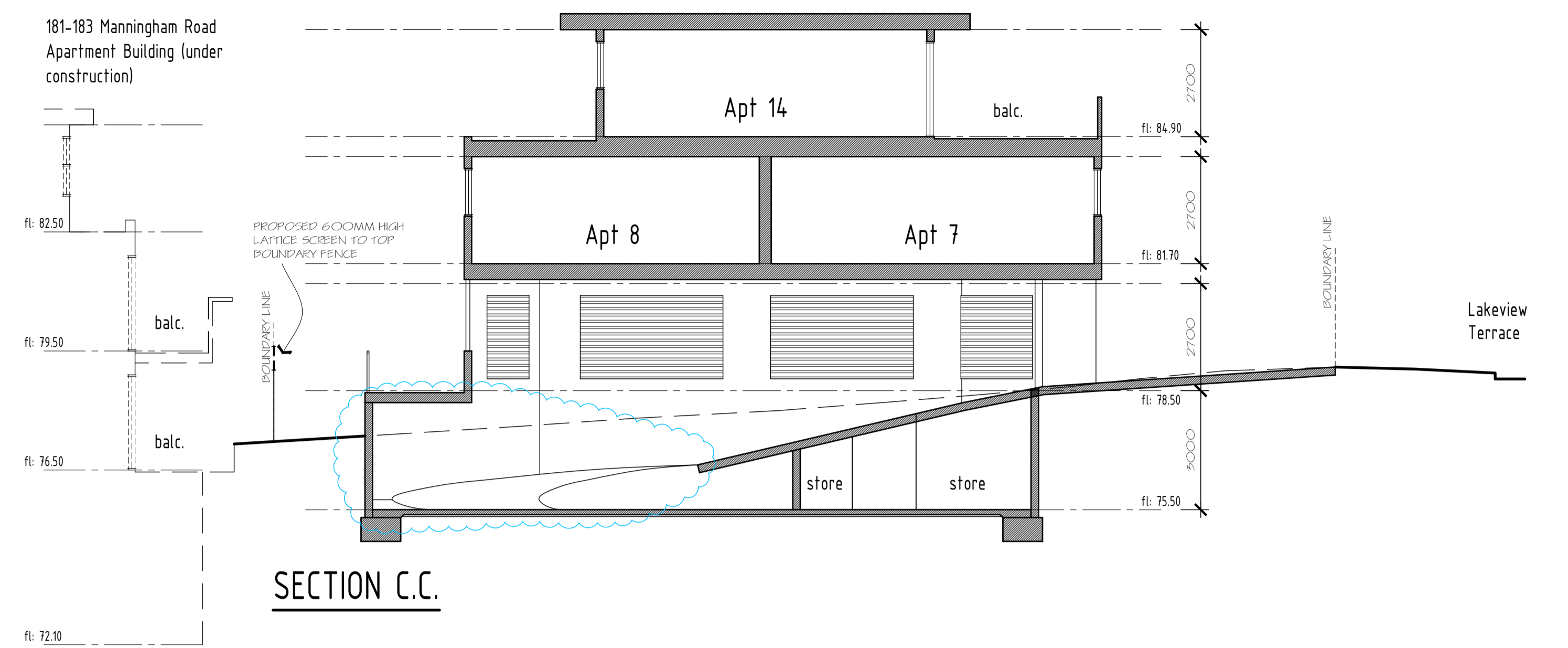
at 185-187 Manningham Road
Templestowe Lower
for Mr. Salerno

Elevations

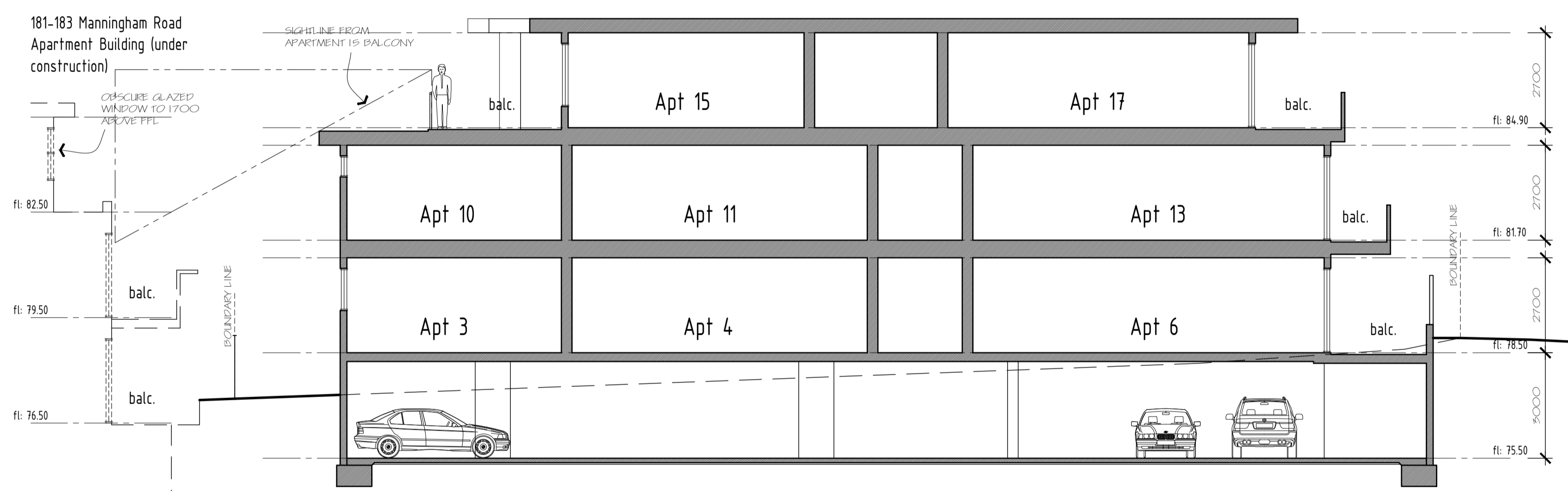
DATE:	August 2014
SCALE:	1 : 100 @A1
DRAWN:	D.A.H.
SHEET NO:	7 of 9
JOB NO:	14-010
REV:	C



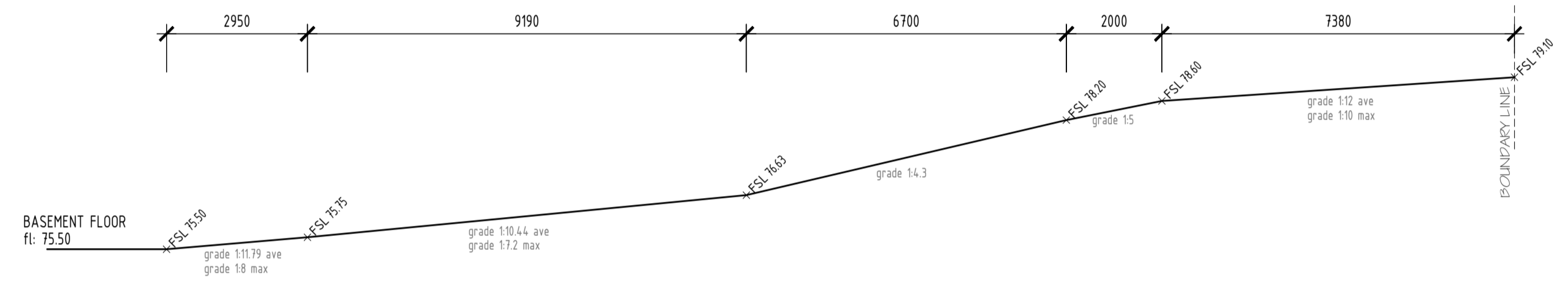
NORTH ELEVATION



SECTION C.C.



SECTION A.A.

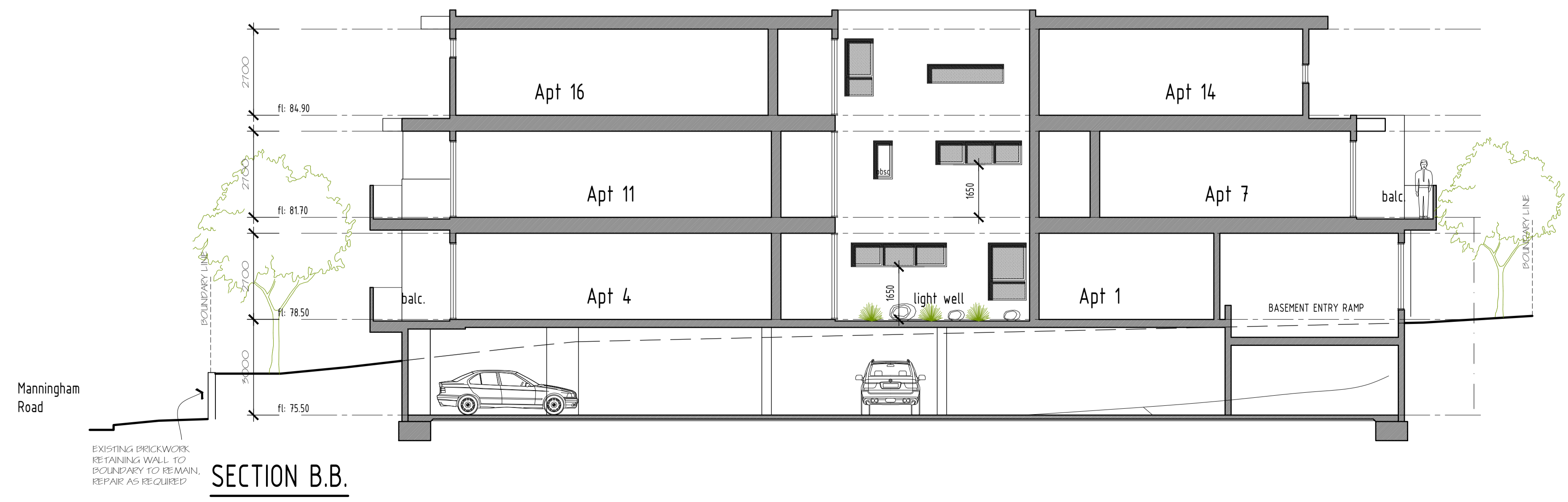


RAMP SECTION

SCHEDULE OF FINISHES

- 1. EXPRESS JOINT CLADDING
colour - 'dulux' excelsior (P11A4) or similar
- 2. RENDER FINISH
colour - 'dulux' lexicon half (PCWF7) or similar
- 3. RENDER FINISH
colour - 'dulux' black (PG1A9) or similar
- 4. LIGHTWEIGHT CLADDING
'james hardie' panel clad sheet - textureline
colour - 'cabots' exterior varnish stain, rich walnut or similar
- 5. EXPRESS JOINT CLADDING
'alucobond' pure white 10 or similar
- 6. 'metalart' bush cherry or similar

ELEVATIONS - DESIGN RESPONSE



SECTION B.B.

06-10-2015	'C' Voluntary Amendment Issue
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30-09-2014	Town Planning Application Issue
DATE:	REVISION:



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at 185-187 Manningham Road
Templestowe Lower
for Mr. Salerno

Elevations & Sections

DATE:	August 2014
SCALE:	1 : 100 @A1
DRAWN:	D.A.H.
SHEET NO:	7 of 9
JOB NO:	14-010
REV:	C