

5. LEGISLATIVE REQUIREMENTS

5.1 PLANNING AND ENVIRONMENT ACT 1987 (THE ACT)

The *Planning and Environment Act 1987* is the relevant legislation governing planning in Victoria. The Act identifies subordinate legislation in the form of Planning Schemes to guide future land use and development.

Section 60 of The *Planning and Environment Act*, requires the Responsible Authority to consider the following before deciding on an application:

- *The relevant planning scheme;*
- *The objectives of planning in Victoria;*
- *All objections and other submissions which it has received;*
- *Any decision and comments of a referral authority which it has received; and*
- *Any significant effects which the responsible authority considers the use or development may have on the environment or which the responsible authority considers the environment may have on the use or development.*

Section 61(4) of the Act makes specific reference to covenants. Under Section 61(4) of the *Planning & Environment Act 1987* the Responsible Authority must not issue a planning permit that would result in a breach of a registered restrictive covenant.

5.2 MANNINGHAM PLANNING SCHEME

Clauses of the Manningham Planning Scheme the Responsible Authority must consider:

- State Planning Policy Framework
- Local Planning Policy Framework
- Clause 32.07 Residential Growth Zone, Schedule 2 (RGZ2)
- Clause 43.02 Design and Development Overlay, Schedule 8 (DDO8)
- Clause 45.09 Parking Overlay, Schedule 1
- Clause 52.06 Car Parking
- Clause 52.29 Land Adjacent to a Road Zone Category 1 or a Public Acquisition Overlay for a Category 1 Road
- Clause 52.34 Bicycle Facilities
- Clause 58 Apartment Developments
- Clause 65 Decision Guidelines

Zones

Clause 32.07 Residential Growth Zone, Schedule 2

The purpose of the zone is:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To provide housing at increased densities in buildings up to and including four storey buildings.*
- *To encourage a diversity of housing types in locations offering good access to services and transport including activity centres and town centres.*

- *To encourage a scale of development that provides a transition between areas of more intensive use and development and other residential areas.*
- *To ensure residential development achieves design objectives specified in a schedule to this zone.*
- *To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.*

A permit is required for this application, under the RGZ2 as follows:

- Clause 32.07-2 to use the land as a medical centre (where the leasable floor area (LFA) exceeds 250sqm;
- Clause 32.07-5 to construct two or more dwellings on a lot;
- Clause 32.07-8 to construct a building or construct or carry out works for a use in Section 2.

An apartment development of five or more storeys, excluding a basement, must meet the requirements of Clause 58.

Schedule 2 pertains to Residential Areas along Main Roads and does not have a maximum building height specified which differs from the Residential Growth Zone. The Residential Growth Zone specifies that:

- *If no maximum building height is specified in a schedule to this zone, the building height should not exceed 13.5 metres; and*
- *A building may exceed the maximum building height by up to 1 metre (up to 14.5 metres) if the slope of the natural ground level, measured at any cross section of the site of the building wider than 8 metres, is greater than 2.5 degrees.*

Overlay

Clause 43.02 Design and Development Overlay, Schedule 8-1 (Main Road Sub-Precinct)

The design objectives are as follows:

- *To increase residential densities and provide a range of housing types around activity centres and along main roads.*
- *To encourage development that is contemporary in design that includes an articulated built form and incorporates a range of visually interesting building materials and façade treatments.*
- *To support three storey, 'apartment style', developments within the Main Road sub-precinct and in sub-precinct A, where the minimum land size can be achieved.*
- *To ensure new development is well articulated and upper storey elements are not unduly bulky or visually intrusive, taking into account the preferred neighbourhood character.*
- *To encourage spacing between developments to minimise a continuous building line when viewed from a street.*
- *To ensure the design and siting of dwellings have regard to the future development opportunities and future amenity of adjoining properties.*
- *To ensure developments of two or more storeys are sufficiently stepped down at the perimeter of the Main Road sub-precinct to provide an appropriate and attractive interface to sub-precinct A or B, or other adjoining zone.*
- *To ensure overlooking into adjoining properties is minimised.*

- To ensure the design of carports and garages complement the design of the building.
- To ensure the design of basement and undercroft car parks complement the design of the building, eliminates unsightly projections of basement walls above natural ground level and are sited to allow for effective screen planting.
- To encourage landscaping around buildings to enhance separation between buildings and soften built form.

Permit Requirement:

- A permit is required to construct or carry out works.
- A permit is required to construct or extend a front fence within 3 metres of a street, if the fence is associated with 2 or more dwellings on a lot or a residential building.

Building Height & Setbacks:

- Any building or works must comply with the requirements set out in Table 1 and 2 of this Schedule.
- For the purposes of this Schedule, the Maximum Building Height does not include building services, lift over-runs and roof mounted equipment, including screening devices.
- For the purposes of this Schedule, balconies, terraces, and verandahs may encroach within the Street Setback by a maximum of 2.0m, but must not extend along the width of the building.

Table 1

Sub-Precinct	Maximum Building Height	Condition regarding minimum land size	Street setback
DDO8-1 (Main Road Sub-Precinct)	11 metres provided the condition regarding minimum land size is met. If the condition is not met, the maximum height is 9 metres, unless the slope of the natural ground level at any cross section wider than eight metres of the site of the building is 2.5 degrees or more, in which case the maximum height must not exceed 10 metres.	1,800 square metres must be all in the same sub-precinct. Where the land comprises more than one lot, the lots must be consecutive lots which are side by side and have a shared frontage.	For two or more dwellings on a lot or a residential building: <ul style="list-style-type: none"> • Minimum front street setback is the distance specified in Clause 55.03-1 or 6 metres, whichever is the lesser • Minimum side street setback is the distance specified in Clause 55.03-1

Planning Policy Framework

The relevant sections of the state planning policy framework are as follows:

Clause 11.01-1S (Settlement) includes the objective to promote the sustainable growth and development of Victoria and deliver choice and opportunity for all Victorians through a network of settlements, including a strategy to develop compact urban areas that are based around existing or planned activity centres to maximise accessibility to facilities and services.

Clause 11.03-1S (Activity Centres) includes the objective to encourage the concentration of major retail, residential, commercial, administrative, entertainment and cultural developments into activity centres which provide a variety of land uses and are highly accessible to the community.

Clause 11.03-1R (Activity Centres – Metropolitan Melbourne) includes strategies to support the development and growth of Metropolitan Activity Centres by ensuring they:

- *Are able to accommodate significant growth for a broad range of land uses.*
- *Are supported with appropriate infrastructure.*
- *Are hubs for public transport services.*
- *Offer good connectivity for a regional catchment.*
- *Provide high levels of amenity.*

Clause 15.01-1S (Urban Design) policy objective is to create urban environments that are safe, healthy, functional and enjoyable and that contribute to a sense of place and cultural identity.

The strategy to achieve this is to apply the listed strategies to development proposals for non-residential development or residential development not covered by Clause 54, Clause 55 or Clause 56.

Responsible Authorities are also required to have regard to the State's *Urban Design Guidelines for Victoria*, which is referenced at Clause 15.01-1S of the Scheme.

The strategies include the application of design principles to the proposed development relating to context, amenity, public realm, safety, pedestrian spaces, energy and resource efficiency, architectural quality and landscape quality.

Clause 15.01-2S (Building Design) policy objective is to achieve building design outcomes that contribute positively to the local context and enhance the public realm.

Responsible Authorities are also required to have regard to the State's *Urban Design Guidelines for Victoria* (Department of Environment, Land, Water and Planning 2017), and *Apartment Design Guidelines for Victoria* (Department of Environment, Land, Water and Planning 2017).

Clause 15.02-1S Energy and resource efficiency

The policy objective is:

- *To encourage land use and development that is energy and resource efficient, supports a cooler environment and minimises greenhouse gas emissions.*

The clause has the following strategies:

- *Improve the energy, water and waste performance of buildings and subdivisions through environmentally sustainable development.*
- *Promote consolidation of urban development and integration of land use and transport.*
- *Improve efficiency in energy use through greater use of renewable energy technologies and other energy efficiency upgrades.*
- *Support low energy forms of transport such as walking and cycling.*
- *Reduce the urban heat island effect by greening urban areas, buildings, transport corridors and open spaces with vegetation.*

- *Encourage retention of existing vegetation and planting of new vegetation as part of development and subdivision proposals.*

Clause 16.01-1S Residential development: Housing supply

The policy objective is:

- To facilitate well-located, integrated and diverse housing that meets community needs.

The clause has the following strategies:

- *Ensure that an appropriate quantity, quality and type of housing is provided, including aged care facilities and other housing suitable for older people, supported accommodation for people with disability, rooming houses, student accommodation and social housing.*
- *Increase the proportion of housing in designated locations in established urban areas (including under-utilised urban land) and reduce the share of new dwellings in greenfield, fringe and dispersed development areas.*
- *Encourage higher density housing development on sites that are well located in relation to jobs, services and public transport. Identify opportunities for increased residential densities to help consolidate urban areas.*
- *Facilitate diverse housing that offers choice and meets changing household needs by widening housing diversity through a mix of housing types.*
- *Encourage the development of well-designed housing that:*
 - *Provides a high level of internal and external amenity.*
 - *Incorporates universal design and adaptable internal dwelling design.*
- *Support opportunities for a range of income groups to choose housing in well-serviced locations.*
- *Plan for growth areas to provide for a mix of housing types through a variety of lot sizes, including higher housing densities in and around activity centres*

Responsible Authorities are also required to have regard to the State's *Homes for Victorians - Affordability, Access and Choice* (Victorian Government, 2017) and *Apartment Design Guidelines for Victoria* (Department of Environment, Land, Water and Planning 2017).

Clause 16.01-1R Housing supply – Metropolitan Melbourne

The clause includes several strategies to achieve this objective, they include:

- *Manage the supply of new housing to meet population growth and create a sustainable city by developing housing and mixed use development opportunities in locations that are:*
 - *In and around the Central City.*
 - *Urban-renewal precincts and sites.*
 - *Areas for residential growth.*
 - *Areas for greyfield renewal, particularly through opportunities for land consolidation.*
 - *Areas designated as National Employment and Innovation Clusters.*
 - *Metropolitan activity centres and major activity centres.*
 - *Neighbourhood activity centres - especially those with good public transport connections.*
 - *Areas near existing and proposed railway stations that can support transit-oriented development.*
- *Identify areas that offer opportunities for more medium and high density housing near employment and transport in Metropolitan Melbourne.*

- *Facilitate increased housing in established areas to create a city of 20 minute neighbourhoods close to existing services, jobs and public transport.*
- *Provide certainty about the scale of growth by prescribing appropriate height and site coverage provisions for different areas.*
- *Allow for a range of minimal, incremental and high change residential areas that balance the need to protect valued areas with the need to ensure choice and growth in housing.*
- *Create mixed-use neighbourhoods at varying densities that offer more choice in housing.*

Clause 18.01-1S Land use and transport planning

The policy objective is:

- *To create a safe and sustainable transport system by integrating land-use and transport.*

Clause 18.02-1S Sustainable personal transport

The policy objective is:

- *To promote the use of sustainable personal transport.*

Clause 18.02-1R Sustainable personal transport – Metropolitan Melbourne

The strategies include:

- *Improve local travel options for walking and cycling to support 20 minute neighbourhoods.*
- *Develop local cycling networks and new cycling facilities that support the development of 20-minute neighbourhoods and that link to and complement the metropolitan-wide network of bicycle routes - the Principal Bicycle Network.*

Clause 18.02-4S Car parking

The policy objective is:

- *To ensure an adequate supply of car parking that is appropriately designed and located.*

The policy is relevant to the proposal because the application seeks a reduction in the standard car parking requirement of the Scheme. The objective is to ensure an adequate supply of car parking that is appropriately designed and located. It is also required to allocate or require land to be set aside for car parking subject to the existing and potential modes of access including public transport, the demand for off-street car parking, road capacity and the potential for demand management of car parking. Proposals are also encouraged to facilitate the use of public transport.

Local Planning Policy Framework (LPPF)

Municipal Strategic Statement

Clause 21.03 Key Influences

This clause identifies that future housing need and residential amenity are critical land-use issues that will challenge Manningham's future growth and sustainable development. The MSS acknowledges that there is a general trend towards smaller household size as a result of an aging population and smaller family structure which will lead to an imbalance between the housing needs of the population and the actual housing stock that is available.

This increasing pressure for re-development raises issues about how these changes affect the character and amenity of our local neighbourhoods. In meeting future housing needs, the challenge is to provide for residential re-development in appropriate locations, to reduce pressure for development in more sensitive areas, and in a manner that respects the residential character and amenity valued by existing residents.

Areas within activity centres will be developed as centres for business, shopping, working and leisure. They will also be important locations for the development of different types of housing, including forms of higher density development. It is vital to consolidate development of commercial activities within existing activity centres to reinforce the existing retail hierarchy and ensure that each centre remains viable, vibrant and sustainable into the future.

Clause 21.05 Residential

This policy applies to development in the Residential Growth Zone, Schedule 1. It outlines that infill residential development and redevelopment of key strategic sites that consolidates the role of established urban areas and reduces developmental pressure in the areas with environmental values will be encouraged.

It recognises that whilst single detached dwellings will continue to represent the largest proportion of Manningham's housing stock, there will be a need for a greater mix of housing in the form of medium and higher density residential developments. Higher density housing will be encouraged in close proximity to activity centres and along major roads and transport routes.

The site is within Precinct 2 – Residential Areas Surrounding Activity Centres and Along Main Roads.

A substantial level of change is anticipated in Precinct 2. Whilst this area will be a focus for higher density developments, there are three sub-precincts which each stipulate different height, scale and built form outcomes to provide a transition between each sub-precinct and adjoining properties, primarily in Precinct 1 – Residential Areas Removed from Activity Centres and Main Roads.

The site is located within DDO8-1 – the **Main Road Sub-Precinct**.

Sub-precinct – Main Road is an area where three storey (11 metres) 'apartment style' developments are encouraged on land with a minimum area of 1,800m² (where the land comprises more than one consecutive lots, which are side by side and have a shared frontage). The area of 1,800m² must all be in the same sub-precinct. All development in the Main Road sub-precinct should have a maximum site coverage of 60 percent.

Higher developments on the perimeter of the Main Road sub-precinct should be designed so that the height and form are sufficiently stepped down, so that the scale and form complement the interface of sub-precinct A or B, or other adjoining zone.

Development in Precinct 2 should:

- *Provide for contemporary architecture*
- *Achieve high design standards*
- *Provide visual interest and make a positive contribution to the streetscape*
- *Provide a graduated building line from side and rear boundaries*
- *Minimise adverse amenity impacts on adjoining properties*

- *Use varied and durable building materials*
- *Incorporate a landscape treatment that enhances the overall appearance of the development.*
- *Integrate car parking requirements into the design of buildings and landform.*

Clause 21.05-2 Housing

The relevant objectives of this policy are:

- *To accommodate Manningham's projected population growth.*
- *To ensure that housing choice, quality and diversity will be increased to better meet the needs of the local community and reflect demographic changes.*
- *To ensure that areas removed from activity centres and main roads as well as areas with predominant landscape features are protected from higher density development.*
- *To promote affordable and accessible housing to enable residents with changing needs to stay within their local neighbourhood or the municipality.*

The strategies to achieve these objectives include:

- *Encourage the provision of housing stock which responds to the needs of the municipality's population.*
- *Promote the consolidation of lots to provide for a diversity of housing types and design options.*
- *Allow housing development that respects existing neighbourhood character and supports incremental level of change in areas removed from activity centres and main roads identified as Precinct 1 on the Residential Framework Plan 1 and Map 1 to this clause.*
- *Encourage development to be designed to respond to the needs of people with limited mobility, which may for example, incorporate lifts into three storey developments.*

Clause 21.10 Environmentally Sustainable Development

This policy highlights Council's commitment to ESD and outlines a number of ESD principles to which regard must be given. These include building energy management, water sensitive design, external environmental amenity, waste management, quality of public and private realm and transport.

Local Planning Policy

Clause 22.08 Safety through urban design

This policy applies to all land in Manningham. It endeavours to provide and maintain a safer physical environment for those who live in, work in or visit the City of Manningham. The policy seeks attractive, vibrant and walkable public spaces where crime, graffiti and vandalism is minimised.

Clause 22.09 Access for disabled people

This policy also applies to all land in Manningham. It seeks to ensure that people with a disability have the same level of access to buildings, services and facilities as any other person. The policy requires the needs of people with a disability to be taken into account in the design of all proposed developments.

Clause 22.12 Environmentally Sustainable Development

This policy applies throughout the City of Manningham to residential and non-residential development that requires a planning permit in accordance with the thresholds in Table 1 of this Policy (except for land affected by the Activity Centre Zone (Schedule 1) that applies to Doncaster Hill). The policy contains an overarching objective that development should achieve best practice in environmentally sustainable development from the design stage through to construction and operation.

Particular Provisions

Clause 52.06 Car Parking

Pursuant to Clause 52.06-5, car parking is required to be provided at the following rates:

- *1 space for 1 and 2 bedroom dwellings.*
- *2 spaces for 3 or more bedroom dwellings.*
- *1 visitor space to every 10 dwellings (within the Parking Overlay, Schedule 1).*
- *2.5 spaces to each 100m² of net floor area to an office.*
- *0.22 spaces to each child to a child care centre.*
- *3.5 spaces to each 100m² of net floor area to a food and drink premises.*
- *0.3 spaces to each patron to a place of assembly.*

The land is identified as being within the Principal Public Transport Network Area.

Clause 52.06-9 outlines various design standards for parking areas that should be achieved.

Clause 52.34 Bicycle Facilities

Pursuant to Clause 52.34-3, the following number of bicycle spaces are required in development of four or more storeys:

- *1 space for every 5 dwellings for residents.*
- *1 space for every 10 dwellings for visitors.*

The following number of bicycle spaces are required for other uses:

- *Food and drink premises: 1 space to each 300m² of leasable floor area for employees.*
- *Food and drink premises: 1 space to each 500m² of leasable floor area for customers.*
- *Office: 1 space to each 300m² of net floor area for staff, if the net floor area exceeds 1000m².*
- *Office: 1 space to each 1000m² of net floor area for staff, if the net floor area exceeds 1000m².*
- *Place of assembly: 1 space to each 1500m² of leasable floor area for employees*
- *Place of assembly: 2 spaces plus 1 space for patrons, if the net floor area exceeds 1500m².*
- *No bicycle spaces are required for the use of a child care centre.*

If 5 or more employee bicycle spaces are required, 1 shower for the first 5 employee bicycle spaces, plus 1 to each 10 employee bicycle spaces thereafter is required.

1 change room or direct access to a communal change room is required to each shower. The change room may be a combined shower and change room.

Clause 58 Apartment Developments

A development:

- Must meet all of the objectives of this clause
- Should meet all of the standards of this clause.

If a zone or a schedule to a zone, or a schedule to an overlay specifies a requirement different from a requirement of a standard set out in Clause 58 (excluding Clause 58.04-1), the requirement in Clause 58 applies.

General Provisions

Clause 65 Decision Guidelines

This clause outlines that before deciding on an application, the responsible authority must consider, as appropriate:

- *The Municipal Planning Strategy and the Planning Policy Framework.*
- *The purpose of the zone, overlay or other provision.*
- *Any matter required to be considered in the zone, overlay or other provision.*
- *The orderly planning of the area.*
- *The effect on the amenity of the area.*
- *Whether the proposed development is designed to maintain or improve the quality of stormwater within and exiting the site.*
- *The degree of flood, erosion or fire hazard associated with the location of the land and the use, development or management of the land so as to minimise any such hazard.*



DRAWING SCHEDULE

- TP01 COVER PAGE
- TP02 SITE CONTEXT PLAN
- TP03 FEATURE SURVEY PLAN & DEMOLITION PLAN
- TP04 BASEMENT 2 FLOOR PLAN
- TP05 BASEMENT 1 FLOOR PLAN
- TP06 SITE & GROUND FLOOR PLAN
- TP07 LEVEL 1 FLOOR PLAN
- TP08 LEVEL 2 FLOOR PLAN
- TP09 LEVEL 3 FLOOR PLAN
- TP10 LEVEL 4 FLOOR PLAN
- TP11 ROOF PLAN
- TP12 STREETSCAPE ELEVATIONS
- TP13 ELEVATIONS
- TP14 ELEVATIONS
- TP15 SECTIONS
- TP16 SECTIONS
- TP17 ARTIST'S IMPRESSION
- TP18 SHADOW DIAGRAM 1
9AM, 22 SEP
- TP19 SHADOW DIAGRAM 2
10AM, 22 SEP
- TP20 SHADOW DIAGRAM 3
11AM, 22 SEP
- TP21 SHADOW DIAGRAM 4
12NOON, 22 SEP
- TP22 SHADOW DIAGRAM 5
1PM, 22 SEP
- TP23 SHADOW DIAGRAM 6
2PM, 22 SEP
- TP24 SHADOW DIAGRAM 7
3PM, 22 SEP
- TP25 MATERIALS BOARD

NO.	DATE	DESCRIPTION
0	26.03.20	ISSUED FOR PLANNING APPLICATION.
1	01.07.20	ISSUED FOR DISCUSSION.
2	06.07.20	AMENDMENTS IN RESPONSE TO COUNCIL'S RFI.
3	10.08.20	AMENDMENTS IN RESPONSE TO COUNCIL'S RFI.

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 E ADMIN@STOLLARCHITECTURE.COM.AU

PROJECT NAME
**PROPOSED MIXED DEVELOPMENT
 530 - 532 DONCASTER ROAD,
 DONCASTER**

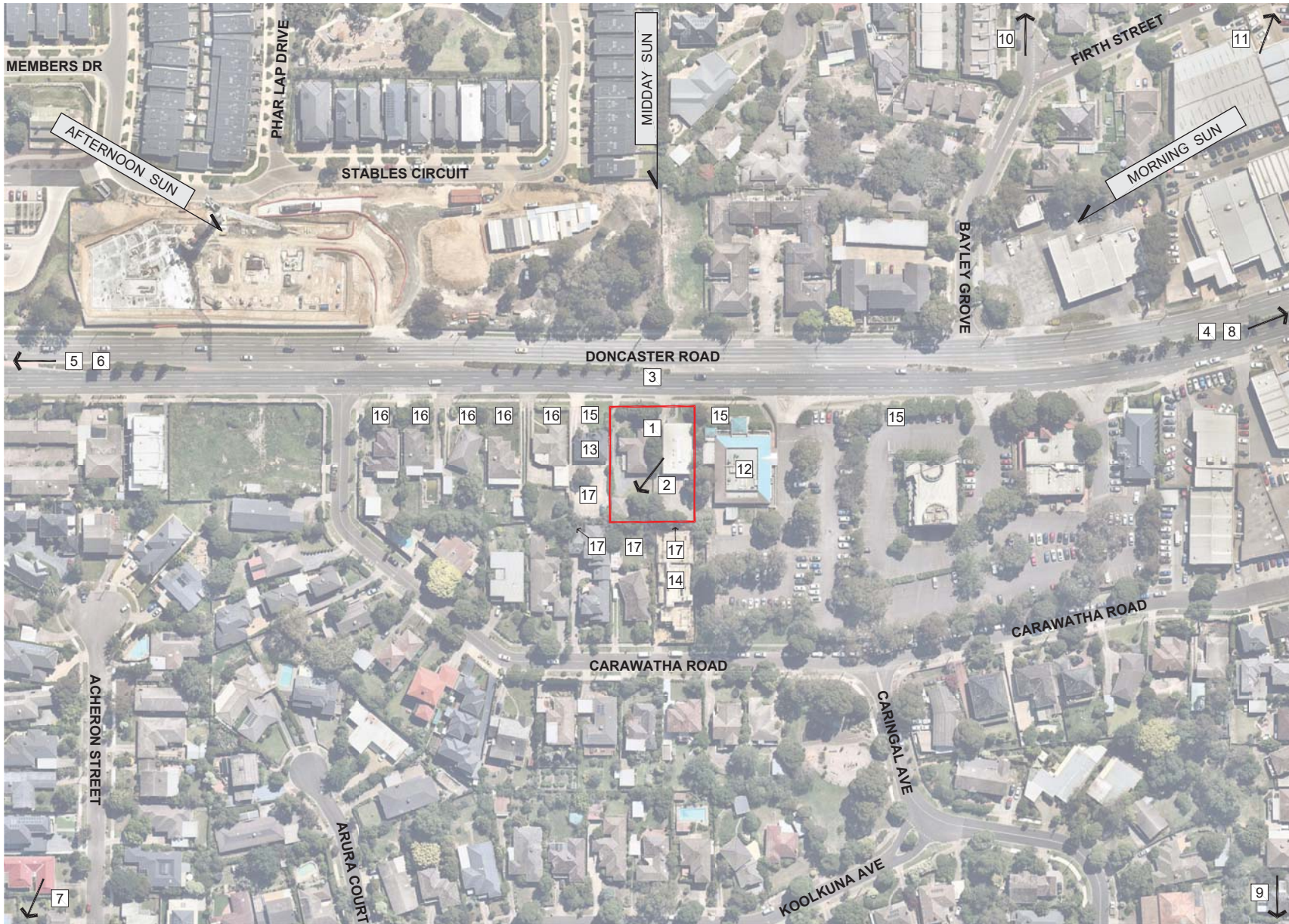
CLIENT
532 DONCASTER ROAD UNIT TRUST

DRAWING TITLE
COVER PAGE

PROJECT NO.	191171
FILE	
SCALE	@A1
DRAWN	DL

DWG NO.	REVISION
TP01	3

TOWN PLANNING ISSUE



SITE CONTEXT NOTES

- 1 SUBJECT SITE 530 - 532 DONCASTER ROAD, DONCASTER. SITE AREA 1550m². THERE IS A SINGLE STOREY BRICK BUILDING ON EACH LOT. THE SITE IS LOCATED WITHIN A RESIDENTIAL GROWTH ZONE - SCHEDULE 2.
- 2 SITE FALL 1 IN 19.4.
- 3 PUBLIC TRANSPORT IS AVAILABLE ALONG DONCASTER ROAD, WHICH IS A MAJOR BUSY ARTERIAL ROAD.
- 4 APPROXIMATELY 500M TO WESTFIELD DONCASTER SHOPPING TOWN.
- 5 1.2KM TO EASTERN FREEWAY, DONCASTER ROAD EXIT.
- 6 LOCATION FROM CBD - 14KM.
- 7 APPROXIMATELY 700M TO BIRRALEE PRIMARY SCHOOL.
- 8 2KM TO DONCASTER SECONDARY COLLEGE.
- 9 2.2KM TO KOONJING SECONDARY COLLEGE.
- 10 APPROXIMATELY 300M TO LAWFORD STREET RESERVE.
- 11 2.4KM TO AQUARENA AQUATIC AND LEISURE CENTRE.
- 12 ADJOINING SITE WITH AN EXISTING SINGLE STOREY RESTAURANT. A PLANNING PERMIT IS GRANTED TO CONSTRUCT A FIVE STOREY HIGH AGED CARE CENTRE AND A EIGHT STOREY HIGH APARTMENT BUILDING.
- 13 ADJOINING SITE WITH AN EXISTING SINGLE STOREY HOUSE. A PLANNING PERMIT IS GRANTED TO CONSTRUCT A THREE STOREY HIGH APARTMENT BUILDING.
- 14 EXISTING ABANDONED CONSTRUCTION SITE WITH THE PERMIT TO BUILD A THREE STOREY APARTMENT BUILDING.
- 15 ADJOINING PROPERTIES WITH NO FRONT FENCE. FRONT GARDEN IS TYPICALLY PLANTED WITH LOW SHRUBS.
- 16 MOST PROPERTIES HAVE LOW FRONT FENCE WITH VARIOUS HEIGHT AND MATERIAL. FRONT GARDEN IS TYPICALLY PLANTED WITH LOW SHRUBS.
- 17 ADJACENT PRIVATE OPEN SPACE TO BE PROTECTED FROM OVERVIEWING.

REVISIONS	NO.	DATE	DESCRIPTION
	1	26.03.20	ISSUED FOR PLANNING APPLICATION.

STOLL
 ARCHITECTURE

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PROJECT NAME
**PROPOSED MIXED DEVELOPMENT
 530 - 532 DONCASTER ROAD
 DONCASTER**

CLIENT
532 DONCASTER ROAD UNIT TRUST

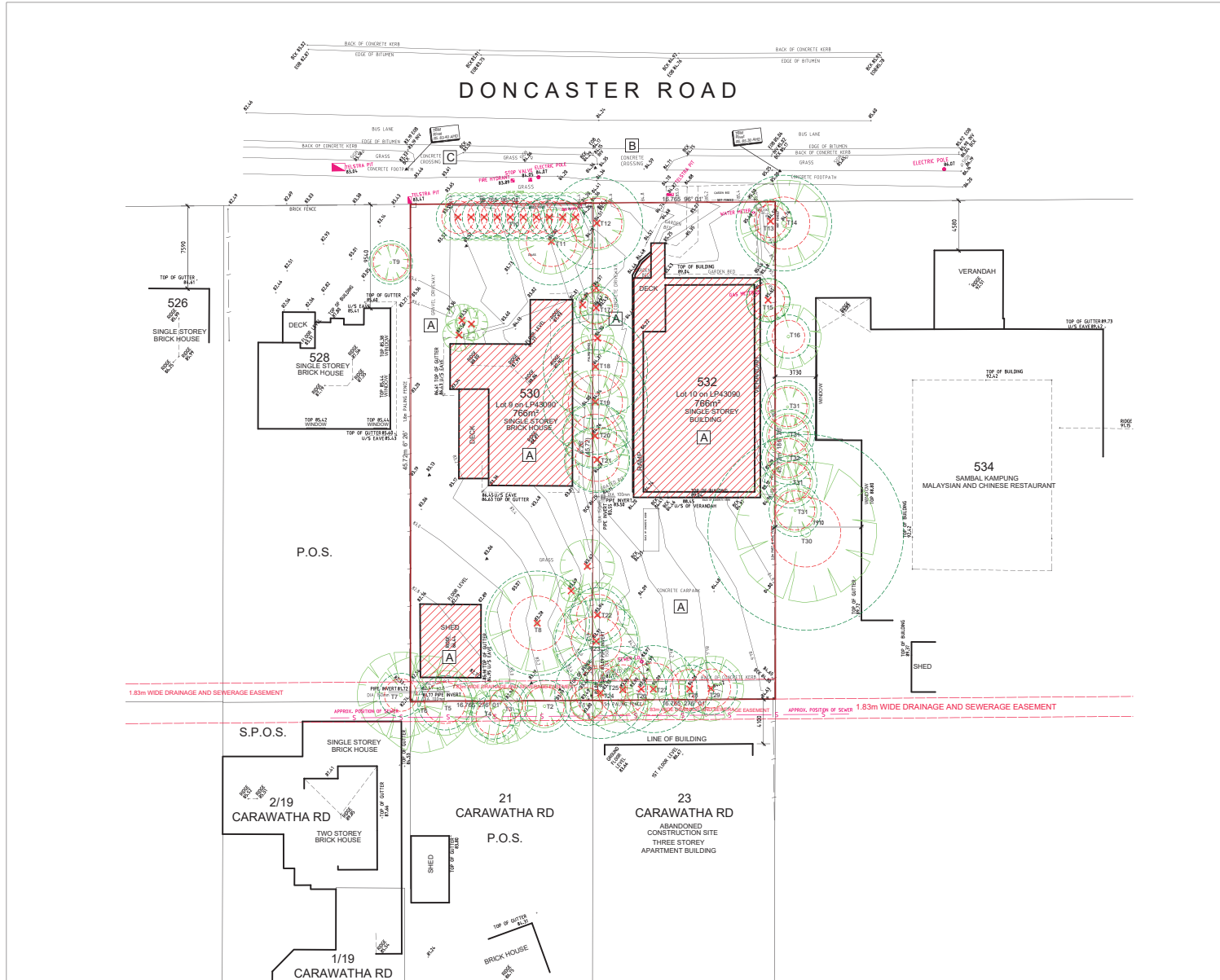
DRAWING TITLE
SITE CONTEXT PLAN

PROJECT NO. 191171
 FILE 11717P02-0.DWG
 SCALE N.T.S.
 DRAWN DL
 DWG NO. REVISION

TP02 0

TOWN PLANNING ISSUE

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DEMOLITION NOTES & LEGEND

- A** THE EXISTING BUILDING INCLUDING CONCRETE DRIVEWAY, REAR CARPARKING AREA ON SUBJECT SITE IS TO BE DEMOLISHED AND REMOVED IN TOTAL. ALL EXISTING SANITARY FIXTURES TO BE STOPPED OF PRIOR TO DEMOLITION WORKS.
 - B** EXISTING REDUNDANT CONCRETE CROSSING TO BE REMOVED. FOOTPATH & KERB TO BE REINSTATED TO COUNCIL'S REQUIREMENT.
 - C** EXISTING CONCRETE CROSSING TO BE WIDENED.
- EXISTING TREES TO BE RETAINED.
 TPZ
 EXISTING TREES TO BE REMOVED.
- NOTE: VEGETATION THAT IS NOT LABELED WITH TREE NUMBER IS SHRUB.

NO.	DATE	DESCRIPTION
0	28.03.20	ISSUED FOR PLANNING APPLICATION.
1	19.06.20	EXISTING TREES AT ADJOINING SITE SHOWN.

STOLL ARCHITECTURE

89 DRUMMOND STREET
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PROJECT NAME
**PROPOSED MIXED DEVELOPMENT
 530 - 532 DONCASTER ROAD
 DONCASTER**

CLIENT
532 DONCASTER ROAD UNIT TRUST

DRAWING TITLE
**FEATURE SURVEY PLAN &
 DEMOLITION PLAN**

PROJECT NO. 191171
 FILE 1171-TP03-0.DWG
 SCALE 1:200@A1, 1:400@A3
 DRAWN DL

DWG NO. TP03
 REVISION 1
 TOWN PLANNING ISSUE

GOODISON SURVEYING
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 office@goodisonsurveying.com.au

Legend

▲ - SURVEY CONTROL POINT	WIN - WINDOW	GV - GAS VALVE
□ - BACK OF CONCRETE KERB	HW - HABITABLE WINDOW	JP - JUNCTION PIT
EQB - EDGE OF BITUMEN	TOP - TOP OF WINDOW	SEP - SIDE ENTRY PIT
FBK - FACE OF BLUESTONE KERB	BTM - BOTTOM OF WINDOW	INV - INVERT OF CHANNEL
INV - INVERT OF CHANNEL		◎ - PHOTO POINT

Notations

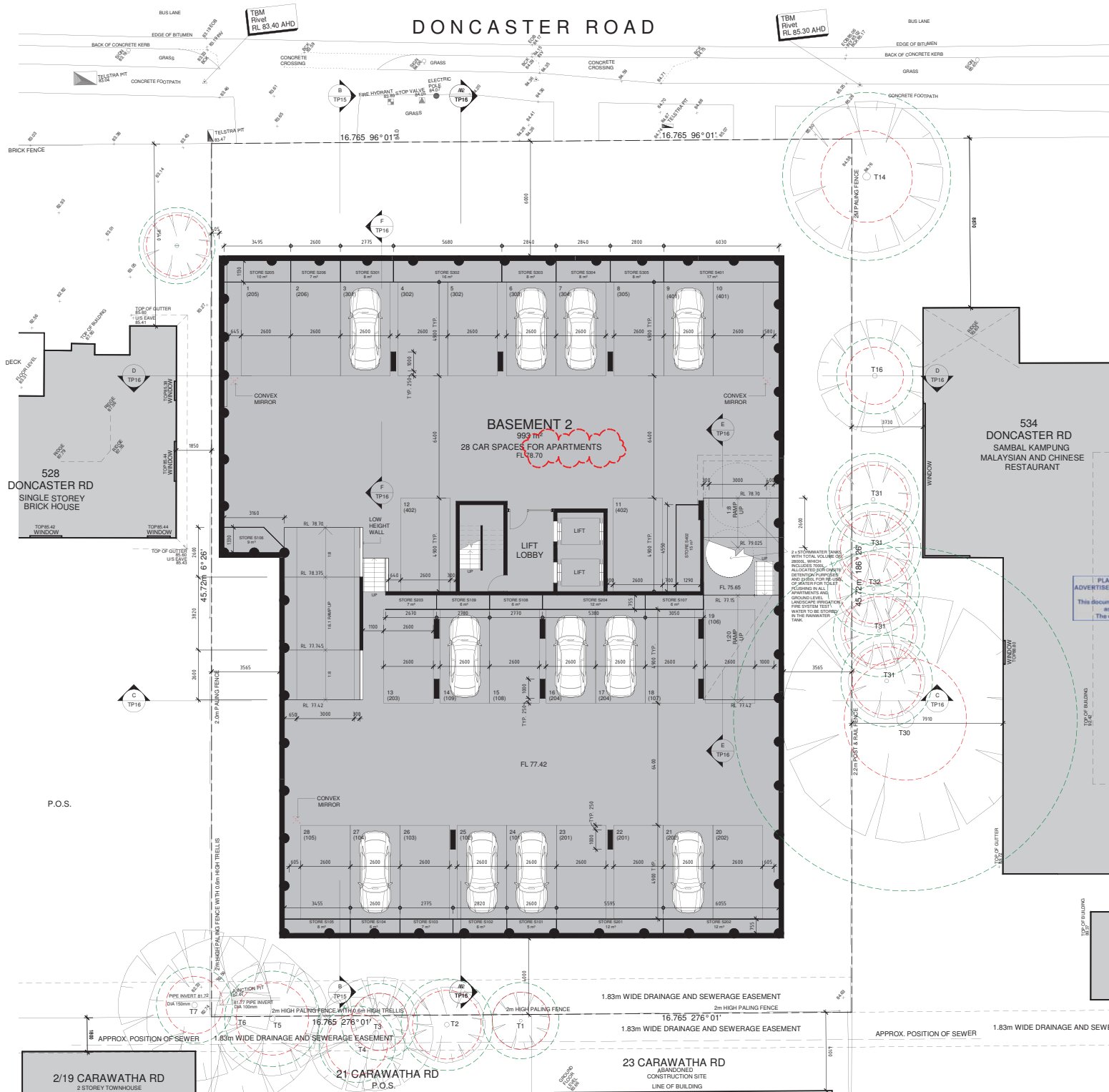
Levels are to AHD (Australian Height Datum). Level datum is based on PM134 with RL 88.395
 This is not a title re-establishment survey.
 Contour interval 0.2 meters.
 Only visible services have been located by this survey. Other hidden underground services may exist.
 "Dial before you Dig" or other underground location services should be investigated.

Feature and Level Survey

**530-532 Doncaster Road
 Doncaster**

Job Ref: 16544
Scale: 1:200
Date of plan: 19/11/19
Updated:

DONCASTER ROAD



DEVELOPMENT SUMMARY

	1 BED APARTMENT	2 BED APARTMENT	3 BED APARTMENT
GROUND FLOOR	-	-	-
LEVEL 1	1	8	-
LEVEL 2	1	2	3
LEVEL 3	-	5	-
LEVEL 4	-	-	2
TOTAL	2	15	5

TOTAL OF 22 UNITS
 CARPARK WITH 48 CARSPACES = 766.5m²
 SITE AREA FOR EACH LOT = 1533m²
 TOTAL SITE AREA FOR 2 LOTS = 927 m²
 BUILDING FOOTPRINT AREA = 60%
 SITE COVERAGE = 535m² (35%)
 TOTAL IMPERVIOUS SURFACE AREA = 1079m² (70%)

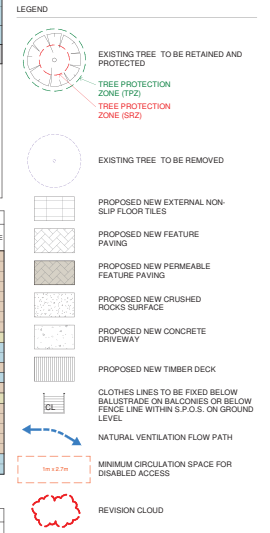
SCHEDULE OF FLOOR AREAS & STORAGE CAPACITIES

APT NO.	BED ROOM	BATH ROOM	CAR SPACE	FLOOR AREA (m ²)	UNIT STORAGE (m ³)	P.O.S. STORAGE (m ³)	INT. STORAGE (m ³)	EXT. STORAGE (m ³)
101*	2	2	1	24	98	50	14	5
102	2	2	1	25	118	59	14	6
103	2	2	1	26	114	33	17	7
104	2	2	1	27	116	60	14	5
105*	2	2	1	28	94	11	14	8
106*	2	2	1	19	93	11	18	9
107	2	2	1	18	97	11	12	6
108	2	2	1	15	94	17	12	6
109*	1	1	1	14	65	25	18	6
201**	3	2	2	128.823	117	34	19	12
202*	3	2	2	20.21	109	38	19	12
203	2	2	1	13	88	19	15	7
204	3	2	2	116.817	114	25	15	12
205	2	2	1	1	94	17	12	10
206*	1	1	1	2	65	12	18	7
301	2	2	1	3	90	17	12	8
302*	2	2	2	4.8.5	98	42	13	16
303	2	2	1	6	60	27	14	8
304	2	2	1	7	92	17	13	8
305*	2	2	1	6	89	12	18	8
401**	3	2	2	9.4.10	104	68	21	17
402*	3	2	2	11.4.12	123	79	21	15

* APARTMENT IS ACCESSIBLE IN ACCORDANCE WITH B.A.S.

AREA SCHEDULE FOR EACH FLOOR

FLOOR LEVEL	FLOOR AREA (m ²)	PERCENTAGE OF UPPER FLOOR AREA OVER EACH LEVEL BELOW
BASEMENT 2	993	N/A
BASEMENT 1	993	N/A
GROUND FLOOR	872	N/A
LEVEL 1	806	82.4%
LEVEL 2	663	82.3%
LEVEL 3	519	76.3%
LEVEL 4	287	55.3%



PLANNING AND ENVIRONMENT ACT 1987 - MANNINGHAM PLANNING SCHEME
 ADVERTISED MATERIAL - Planning Application: PLN200146, Date: 18 August 2020, Page 4 of 25
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REVISIONS

NO.	DATE	DESCRIPTION
0	01.04.20	ISSUED FOR PLANNING APPLICATION.
1	27.05.20	ISSUED FOR DISCUSSION.
2	01.07.20	ISSUED FOR DISCUSSION.
3	17.07.20	AMENDMENTS IN RESPONSE TO COUNCIL'S RFL.
4	07.08.20	AMENDMENTS IN RESPONSE TO COUNCIL'S RFL.



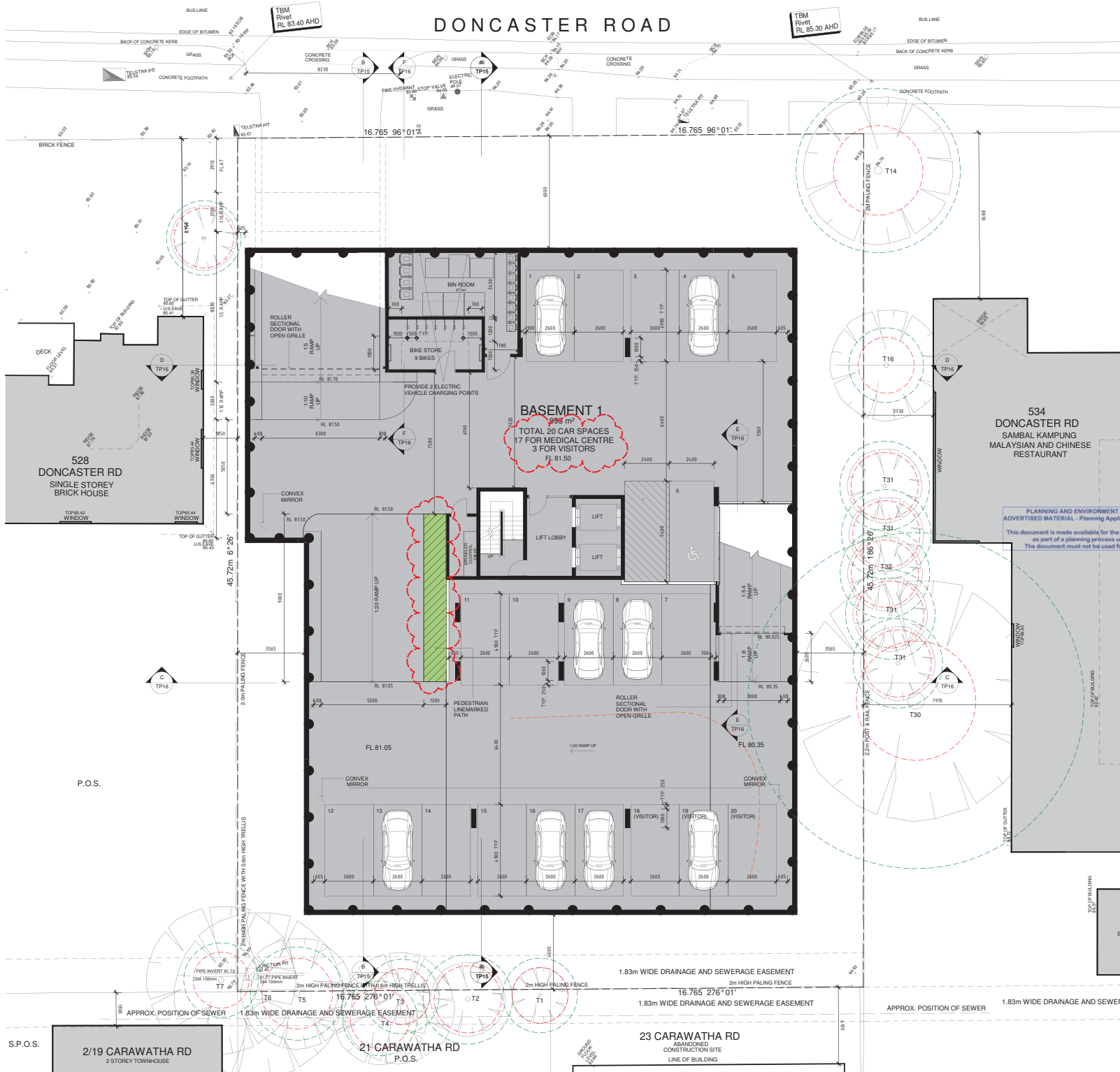
PROJECT NAME
**PROPOSED MIXED DEVELOPMENT
 530 - 532 DONCASTER ROAD,
 DONCASTER**

CLIENT
532 DONCASTER ROAD UNIT TRUST

DRAWING TITLE
BASEMENT 2 FLOOR PLAN

PROJECT NO: 191171
 FILE: SCALE 1:100@A1
 DRAWN: DL
 DWG NO: 4
 REVISION: 1
TP04 4
 TOWN PLANNING ISSUE

DONCASTER ROAD



ALLOCATION OF CAR SPACES IN BASEMENT 1

CAR SPACES NO.	DURING WORK HOURS	AFTER WORK HOURS & WEEKEND
1	MEDICAL CENTRE	MEDICAL CENTRE
2	MEDICAL CENTRE	MEDICAL CENTRE
3	MEDICAL CENTRE	MEDICAL CENTRE
4	MEDICAL CENTRE	MEDICAL CENTRE
5	MEDICAL CENTRE	MEDICAL CENTRE
6	MEDICAL CENTRE	VISITOR
7	MEDICAL CENTRE	VISITOR
8	MEDICAL CENTRE	VISITOR
9	MEDICAL CENTRE	VISITOR
10	MEDICAL CENTRE	VISITOR
11	MEDICAL CENTRE	VISITOR
12	MEDICAL CENTRE	VISITOR
13	MEDICAL CENTRE	VISITOR
14	MEDICAL CENTRE	VISITOR
15	MEDICAL CENTRE	VISITOR
16	MEDICAL CENTRE	VISITOR
17	MEDICAL CENTRE	VISITOR
18	VISITOR	VISITOR
19	VISITOR	VISITOR
20	VISITOR	VISITOR

LEGEND

- EXISTING TREE TO BE RETAINED AND PROTECTED
- TREE PROTECTION ZONE (TPZ)
- TREE PROTECTION ZONE (SRZ)
- EXISTING TREE TO BE REMOVED
- PROPOSED NEW EXTERNAL NON-SLIP FLOOR TILES
- PROPOSED NEW FEATURE PAVING
- PROPOSED NEW PERMEABLE FEATURE PAVING
- PROPOSED NEW CRUSHED ROCKS SURFACE
- PROPOSED NEW CONCRETE DRIVEWAY
- PROPOSED NEW FIBRE DECK
- CLOTHES LINES TO BE FIXED BELOW BALUSTRADE ON BALCONIES OR BELOW FENCE LINE WITHIN 5 P.O.S. ON GROUND LEVEL
- NATURAL VENTILATION FLOW PATH
- MINIMUM CIRCULATION SPACE FOR DISABLED ACCESS
- REVISION CLOUD

PLANNING AND ENVIRONMENT ACT 1987 - MANNINGHAM PLANNING SCHEME
 ADVERTISED MATERIAL - Planning Application: PLN200146, Date: 18 August 2020, Page 5 of 25
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4	07.08.20	ISSUED FOR REVIEW.
5	10.08.20	AMENDMENTS IN RESPONSE TO COUNCIL'S RFL.

STOLL ARCHITECTURE
 89 DRUMMOND STREET
 CARLTON VICTORIA 3053
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 F ADMIN@STOLLARCHITECTURE.COM.AU

PROJECT NAME
**PROPOSED MIXED DEVELOPMENT
 530 - 532 DONCASTER ROAD,
 DONCASTER**

CLIENT
532 DONCASTER ROAD UNIT TRUST

DRAWING TITLE
BASEMENT 1 FLOOR PLAN

PROJECT NO. 191171
 FILE
 SCALE 1:100@A1
 DRAWN DL

DWG NO. 5
 REVISION 1

TP05

TOWN PLANNING ISSUE

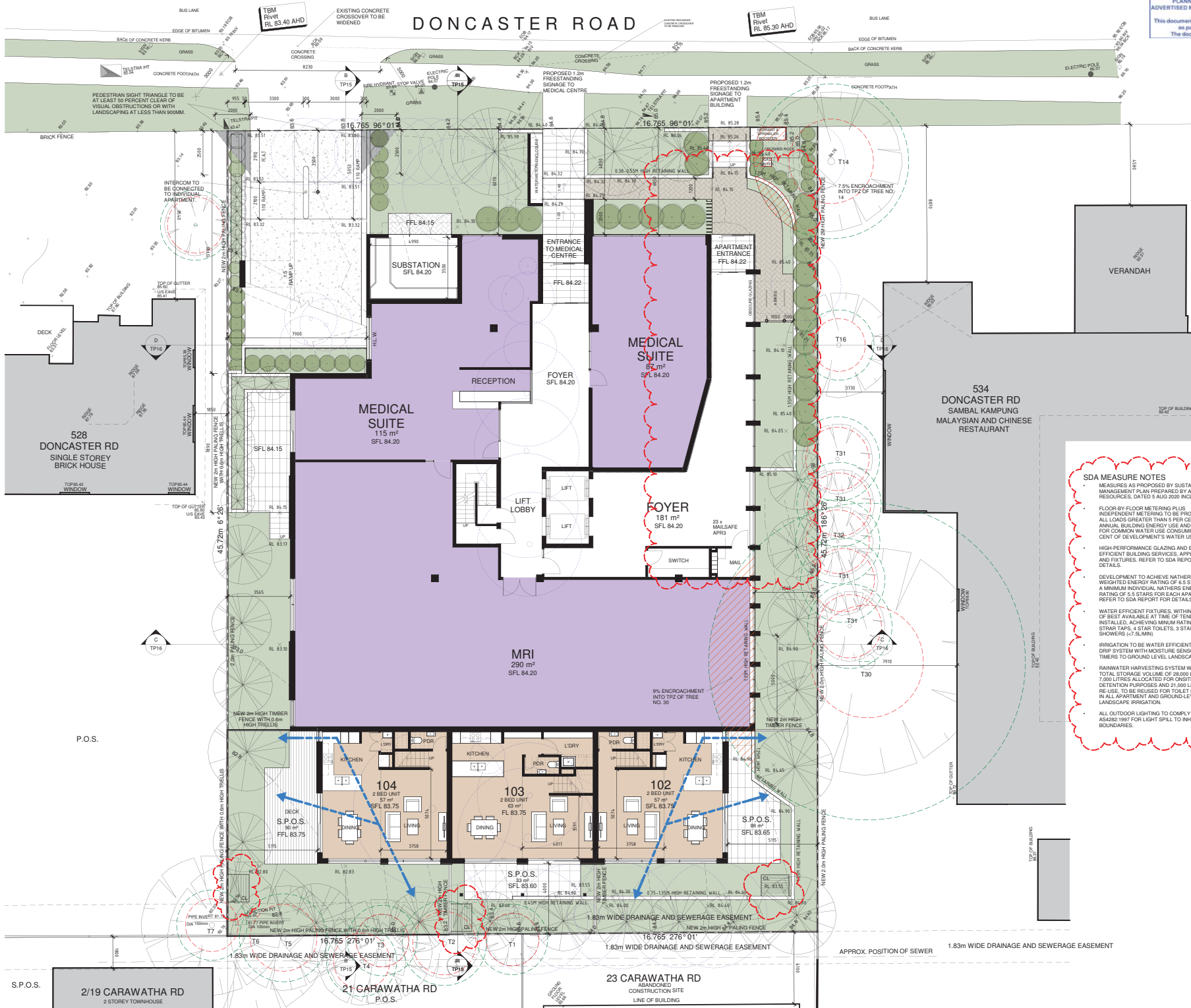
S.P.O.S. 2/19 CARAWATHA RD
 2 STOREY TOWNHOUSE

21 CARAWATHA RD
 P.O.S.

23 CARAWATHA RD
 ABANDONED CONSTRUCTION SITE
 LINE OF BUILDING

APPROX. POSITION OF SEWER 1.83m WIDE DRAINAGE AND SEWERAGE EASEMENT

DONCASTER ROAD



LEGEND

- EXISTING TREE TO BE RETAINED AND PROTECTED
- TREE PROTECTION ZONE (TZ2)
- TREE PROTECTION ZONE (TZ1)
- EXISTING TREE TO BE REMOVED
- PROPOSED NEW EXTERNAL NON-SLIP FLOOR TILES
- PROPOSED NEW FEATURE PAVING
- PROPOSED NEW PERMEABLE FEATURE PAVING
- PROPOSED NEW CRUSHED ROCKS SURFACE
- PROPOSED NEW CONCRETE DRIVEWAY
- PROPOSED NEW TIMBER DECK
- CLOTHES LINES TO BE FIXED BELOW BALUSTRADE ON BALCONIES OR BELOW FENCE LINE WITHIN S.P.O.S. ON GROUND LEVEL
- NATURAL VENTILATION FLOW PATH
- MINIMUM CIRCULATION SPACE FOR DISABLED ACCESS
- REVISION CLOUD
- REFER TO LANDSCAPE PLAN FOR LANDSCAPING DESIGN AND PLANT SCHEDULE

SDA MEASURE NOTES

- MEASURES AS PROPOSED BY SUSTAINABLE MANAGEMENT PLAN PREPARED BY ARK RESOURCES DATED 5 AUG 2020 INCLUDE:
- FLOOR BY FLOOR METERING PLUS INDEPENDENT METERING TO BE PROVIDED FOR ALL LOADS GREATER THAN 5 PER CENT OF ANNUAL BUILDING ENERGY USE AND METERING FOR COMMON WATER USE CONSUMING 10 PER CENT OF DEVELOPER'S WATER USE.
- HIGH-PERFORMANCE GLAZING AND ENERGY EFFICIENT BUILDING SERVICES, APPLIANCE AND FIXTURES. REFER TO SDA REPORT FOR DETAILS.
- DEVELOPMENT TO ACHIEVE NATHERS AREA-WEIGHTED ENERGY RATING OF 6.5 STARS AND A MINIMAL INDIVIDUAL NATHERS ENERGY RATING OF 5.5 STARS FOR EACH APARTMENT. REFER TO SDA REPORT FOR DETAILS.
- WATER EFFICIENT FIXTURES WITHIN ONE STAR OF BEST AVAILABLE AT TIME OF TENDER TO BE INSTALLED, ACHIEVING MINIMUM RATINGS WELS 5 STAR TAPS, 4 STAR TOILETS, 3 STAR SHOWERS (<7.5L/MIN).
- IRRIGATION TO BE WATER EFFICIENT SUB-SOIL DRIP SYSTEM WITH MOISTURE SENSORS AND TIMERS TO GROUND LEVEL LANDSCAPING.
- RAINFATER HARVESTING SYSTEM WITH A TOTAL STORAGE VOLUME OF 30,000 LITRES, 7,000 LITRES ALLOCATED FOR ONSITE DETENTION PURPOSES AND 23,000 LITRES FOR RE-USE, TO BE REUSED FOR TOILET FLUSHING IN ALL APARTMENT AND GROUND-LEVEL LANDSCAPE IRRIGATION.
- ALL OUTDOOR LIGHTING TO COMPLY WITH AS4282:1987 FOR LIGHT SPILL TO UNHABITED BOUNDARIES

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STOLL ARCHITECTURE

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 F ADMIN@STOLLARCHITECTURE.COM.AU

PROJECT NAME
**PROPOSED MIXED DEVELOPMENT
 530 - 532 DONCASTER ROAD,
 DONCASTER**

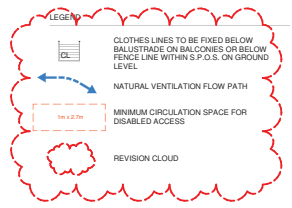
CLIENT
532 DONCASTER ROAD UNIT TRUST

DRAWING TITLE
SITE & GROUND FLOOR PLAN

PROJECT NO. 191171
 FILE
 SCALE 1:100@A1
 DRAWN DL
 DWG NO. 000000
 REVISION
TP06 3
 TOWN PLANNING ISSUE

THIS DRAWING IS A PLAN AND DOES NOT REPRESENT THE EXACT POSITION OF THE BOUNDARIES OF THE LAND. THE DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES WITHOUT THE WRITTEN AUTHORITY OF STOLL ARCHITECTURE.

DONCASTER ROAD



SDA MEASURE NOTES

- MEASURES AS PROPOSED BY SUSTAINABLE MANAGEMENT PLAN PREPARED BY ARK RESOURCES, DATED 5 AUG 2020 INCLUDE:
- FLOOR-BY-FLOOR METERING PLUS INDEPENDENT METERING TO BE PROVIDED FOR ALL LOADS GREATER THAN 5 PER CENT OF ANNUAL BUILDING ENERGY USE AND METERING FOR COMMON WATER USE CONSUMING 10 PER CENT OF DEVELOPMENT'S WATER USE.
- HIGH-PERFORMANCE GLAZING AND ENERGY EFFICIENT BUILDING SERVICES, APPLIANCE AND FIXTURES. REFER TO SDA REPORT FOR DETAILS.
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- WATER EFFICIENT FIXTURES, WITHIN ONE STAR OF BEST AVAILABLE AT TIME OF TENDER TO BE INSTALLED, ACHIEVING MINIM RATINGS WELS 5 STRAR TAPS, 4 STAR TOILETS, 3 STAR SHOWERS (<7.5L/MIN)
- IRRIGATION TO BE WATER EFFICIENT SUB-SOIL DRIP SYSTEM WITH MOISTURE SENSORS AND TIMERS TO GROUND LEVEL LANDSCAPING.
- RAINWATER HARVESTING SYSTEM WITH A TOTAL STORAGE VOLUME OF 20,000 LITRES, 7,000 LITRES ALLOCATED FOR ONSITE DETENTION PURPOSES AND 21,000 LITRES FOR RE-USE, TO BE REUSED FOR TOILET FLUSHING IN ALL APARTMENT AND GROUND-LEVEL LANDSCAPE IRRIGATION.
- ALL OUTDOOR LIGHTING TO COMPLY WITH AS4282:1997 FOR LIGHT SPILL TO INHABITED BOUNDARIES.

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89 DRUMMOND STREET
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 F ADMIN@STOLLARCHITECTURE.COM.AU

PROJECT NAME
**PROPOSED MIXED DEVELOPMENT
 530 - 532 DONCASTER ROAD,
 DONCASTER**

CLIENT
532 DONCASTER ROAD UNIT TRUST

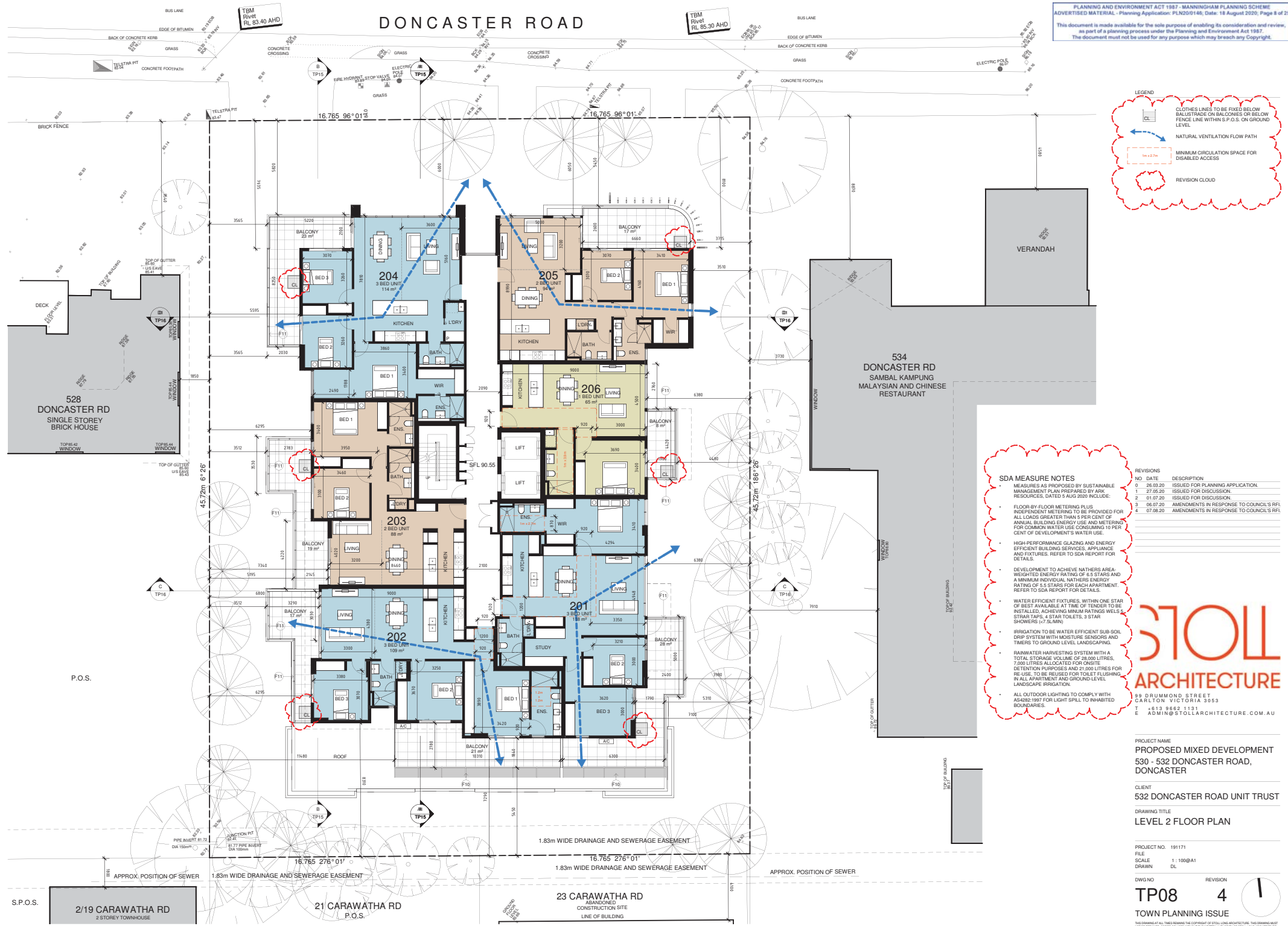
DRAWING TITLE
LEVEL 1 FLOOR PLAN

PROJECT NO. 191171
 SCALE 1:100@A1
 DRAWN DL

DWG NO. **TP07** REVISION **4**
 TOWN PLANNING ISSUE

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DONCASTER ROAD



LEGEND

- CLOTHES LINES TO BE FIXED BELOW BALUS TRACE ON BALCONIES OR BELOW FENCE LINE WITHIN S.P.O.S. ON GROUND LEVEL.
- NATURAL VENTILATION FLOW PATH
- MINIMUM CIRCULATION SPACE FOR DISABLED ACCESS
- REVISION CLOUD

- SDA MEASURE NOTES**
- MEASURES AS PROPOSED BY SUSTAINABLE MANAGEMENT PLAN PREPARED BY ARK RESOURCES, DATED 9 AUG 2020 INCLUDE:
 - FLOOR-BY-FLOOR METERING PLUS INDEPENDENT METERING TO BE PROVIDED FOR ALL LOADS GREATER THAN 10 PER CENT OF ANNUAL BUILDING ENERGY USE AND METERING FOR COMMON WATER USE CONSUMING 10 PER CENT OF DEVELOPMENT'S WATER USE.
 - HIGH-PERFORMANCE GLAZING AND ENERGY EFFICIENT BUILDING SERVICES, APPLIANCE AND FIXTURES, REFER TO SDA REPORT FOR DETAILS.
 - DEVELOPMENT TO ACHIEVE NATHERS AREA WEIGHTED ENERGY RATINGS OF 4.5 STARS AND A MINIMUM INDIVIDUAL NATHERS ENERGY RATINGS OF 3.5 STARS FOR EACH APARTMENT. REFER TO SDA REPORT FOR DETAILS.
 - WATER EFFICIENT FIXTURES, WITHIN ONE STAR OF BEST AVAILABLE AT TIME OF TENDER TO BE INSTALLED, ACHIEVING MINIMUM NATHERS WELS 5 STAR TAPS, 4 STAR TOILETS, 3 STAR SHOWERS (7.5 L/MIN).
 - IRRIGATION TO BE WATER EFFICIENT SUB-SOIL DRIP SYSTEM WITH MOISTURE SENSORS AND TIMERS TO GROUND LEVEL LANDSCAPING.
 - RAINWATER HARVESTING SYSTEM WITH A TOTAL STORAGE VOLUME OF 28,000 LITRES, 7,000 LITRES ALLOCATED FOR ONSITE DETENTION PURPOSES AND 21,000 LITRES FOR RE-USE, TO BE REUSED FOR TOILET FLUSHING IN ALL APARTMENT AND GROUND-LEVEL LANDSCAPE IRRIGATION.
 - ALL OUTDOOR LIGHTING TO COMPLY WITH AS4282:1997 FOR LIGHT SPILL TO INHABITED BOUNDARIES.

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STOLL ARCHITECTURE

89 DRUMMOND STREET
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 F ADMIN@STOLLARCHITECTURE.COM.AU

PROJECT NAME
**PROPOSED MIXED DEVELOPMENT
 530 - 532 DONCASTER ROAD,
 DONCASTER**

CLIENT
532 DONCASTER ROAD UNIT TRUST

DRAWING TITLE
LEVEL 2 FLOOR PLAN

PROJECT NO. 191171
 FILE SCALE 1:100@A1
 DRAWN DL

DWG NO. TP08
 REVISION 4

TOWN PLANNING ISSUE

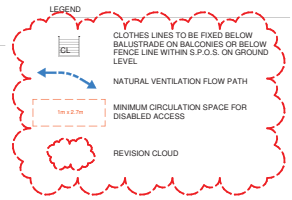
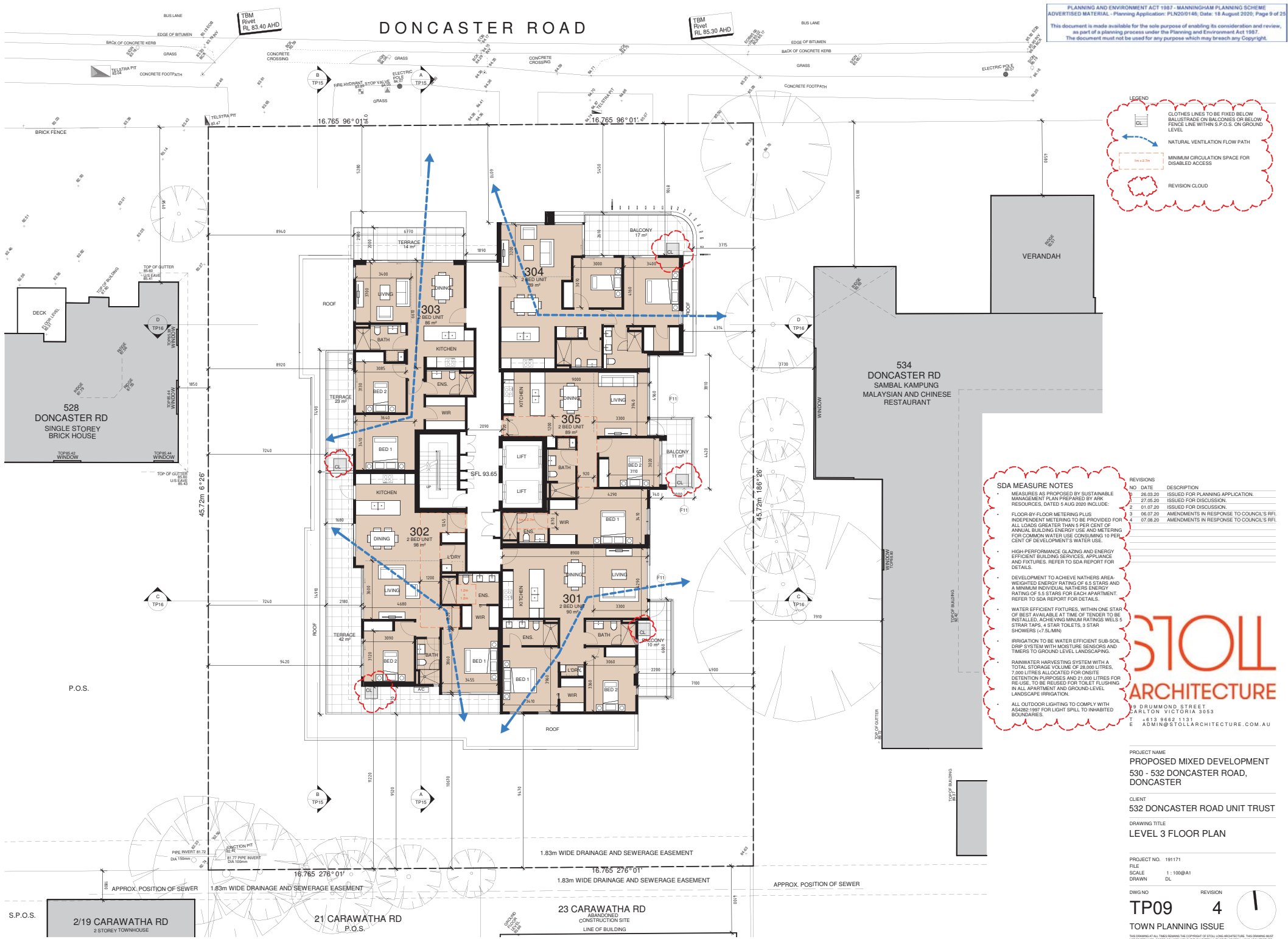
S.P.O.S. 2/19 CARAWATHA RD
 2 STOREY TOWNHOUSE

21 CARAWATHA RD
 P.O.S.

23 CARAWATHA RD
 ABANDONED
 CONSTRUCTION SITE
 LINE OF BUILDING

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DONCASTER ROAD



SDA MEASURE NOTES

- MEASURES AS PROPOSED BY SUSTAINABLE MANAGEMENT PLAN PREPARED BY ARK RESOURCES, DATED 5 AUG 2020 INCLUDE:
- FLOOR-BY-FLOOR METERING PLUS INDEPENDENT METERING TO BE PROVIDED FOR ALL LOADS GREATER THAN 5 PER CENT OF ANNUAL BUILDING ENERGY USE AND METERING FOR COMMON WATER USE CONSUMING 10 PER CENT OF DEVELOPMENT'S WATER USE.
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STOLL ARCHITECTURE
 89 DRUMMOND STREET
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 E ADMIN@STOLLARCHITECTURE.COM.AU

PROJECT NAME
**PROPOSED MIXED DEVELOPMENT
 530 - 532 DONCASTER ROAD,
 DONCASTER**

CLIENT
532 DONCASTER ROAD UNIT TRUST

DRAWING TITLE
LEVEL 3 FLOOR PLAN

PROJECT NO. 191171
 SCALE 1:100@A1
 DRAWN DL

DWG NO. TP09
 REVISION 4

TOWN PLANNING ISSUE

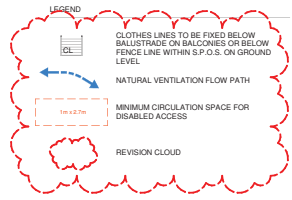
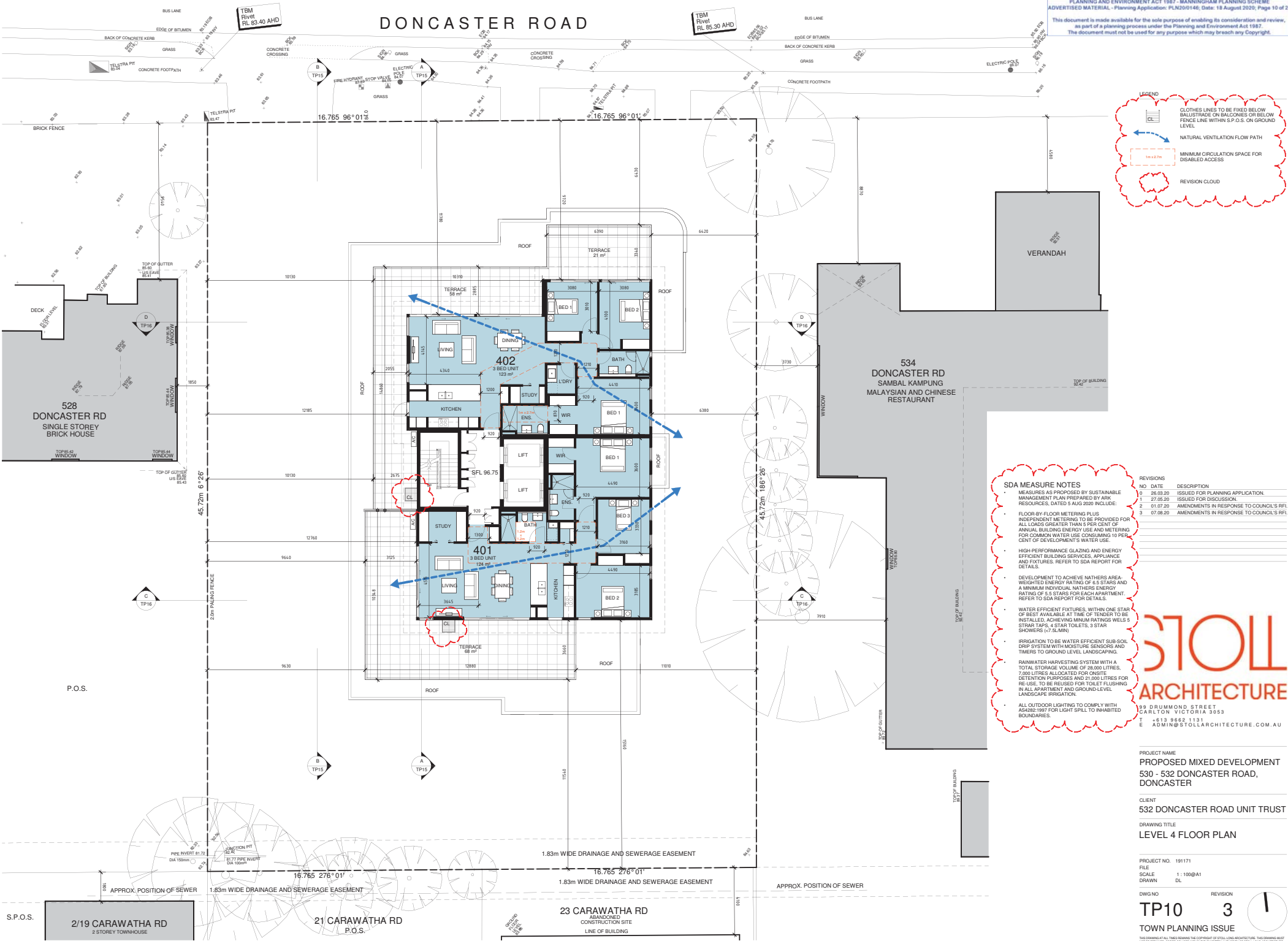
S.P.O.S. 2/19 CARAWATHA RD
 2 STOREY TOWNHOUSE

21 CARAWATHA RD
 P.O.S.

23 CARAWATHA RD
 ABANDONED
 CONSTRUCTION SITE
 LINE OF BUILDING

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DONCASTER ROAD



- SDA MEASURE NOTES**
- MEASURES AS PROPOSED BY SUSTAINABLE MANAGEMENT PLAN PREPARED BY ARK RESOURCES, DATED 5 AUG 2020 INCLUDE:
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 - ALL OUTDOOR LIGHTING TO COMPLY WITH AS/NZS1887 FOR LIGHT SPILL TO UNWANTED BOUNDARIES.

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STOLL ARCHITECTURE

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 E ADMIN@STOLLARCHITECTURE.COM.AU

PROJECT NAME
**PROPOSED MIXED DEVELOPMENT
 530 - 532 DONCASTER ROAD,
 DONCASTER**

CLIENT
532 DONCASTER ROAD UNIT TRUST

DRAWING TITLE
LEVEL 4 FLOOR PLAN

PROJECT NO. 191171
 FILE SCALE 1:100@A1
 DRAWN DL
 DWG NO. TP10
 REVISION 3
TOWN PLANNING ISSUE

S.P.O.S. 2/19 CARAWATHA RD
 2 STOREY TOWNHOUSE

21 CARAWATHA RD
 P.O.S.

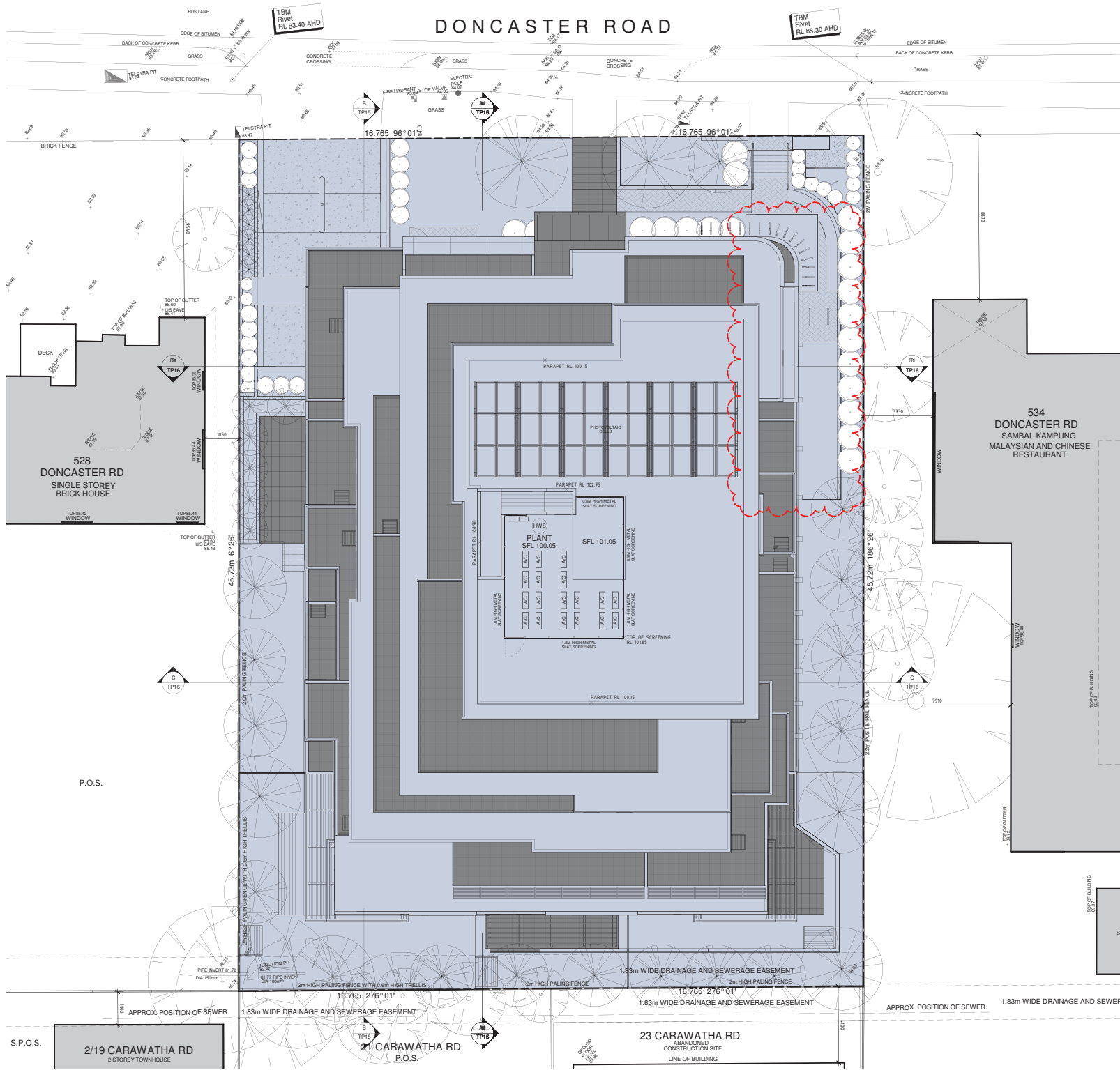
23 CARAWATHA RD
 CONSTRUCTION SITE
 LINE OF BUILDING

APPROX. POSITION OF SEWER

1.83m WIDE DRAINAGE AND SEWERAGE EASEMENT

1.83m WIDE DRAINAGE AND SEWERAGE EASEMENT

DONCASTER ROAD



LEGEND

- PROPOSED DARK COLOUR SURFACE. TOTAL SURFACE AREA NOT MORE THAN 25% OF TOTAL SITE AREA.
- AT LEAST 75% OF THE WHOLE SITE AREA COMPRISES OF ONE OR A COMBINATION OF THE FOLLOWING:
 - Vegetation;
 - Green roofs;
 - Roofing materials, including shading structures, having the following:
 - For roof pitched 15° – a three year SRI of minimum 64; or
 - For roof pitched >math>15^\circ</math> – a three year SRI of minimum 34.
 - Only where the three year Solar Reflectance Index (SRI) for products is not available, use the following:
 - For roof pitched 15° – an initial SRI of minimum 82; or
 - For roof pitched >math>15^\circ</math> – an initial SRI of minimum 39.
 - Unshaded hard-scaping elements with a three year SRI of minimum 34 or an initial SRI of minimum 39.
 - Hardscaping elements shaded by overhanging vegetation or roof structures, including solar hot water panels and photovoltaic panels;
 - Water bodies and/or water courses; or
 - Areas directly to the south of vertical building elements, including green walls and areas shaded by these elements at the summer solstice.

PLANNING AND ENVIRONMENT ACT 1987 - MANNINGHAM PLANNING SCHEME
 ADVERTISED MATERIAL - Planning Application: PLN20/0146; Date: 18 August 2020; Page 11 of 25
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1	27.05.20	ISSUED FOR DISCUSSION.
2	01.07.20	ISSUED FOR DISCUSSION.
3	17.07.20	AMENDMENTS IN RESPONSE TO COUNCIL'S RFI.
4	07.08.20	AMENDMENTS IN RESPONSE TO COUNCIL'S RFI.

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PROJECT NAME
**PROPOSED MIXED DEVELOPMENT
 530 - 532 DONCASTER ROAD,
 DONCASTER**

CLIENT
532 DONCASTER ROAD UNIT TRUST

DRAWING TITLE
ROOF PLAN

PROJECT NO. 191171
 FILE
 SCALE 1:100@A1
 DRAWN DL

DWG NO. REVISION
TP11 4

TOWN PLANNING ISSUE

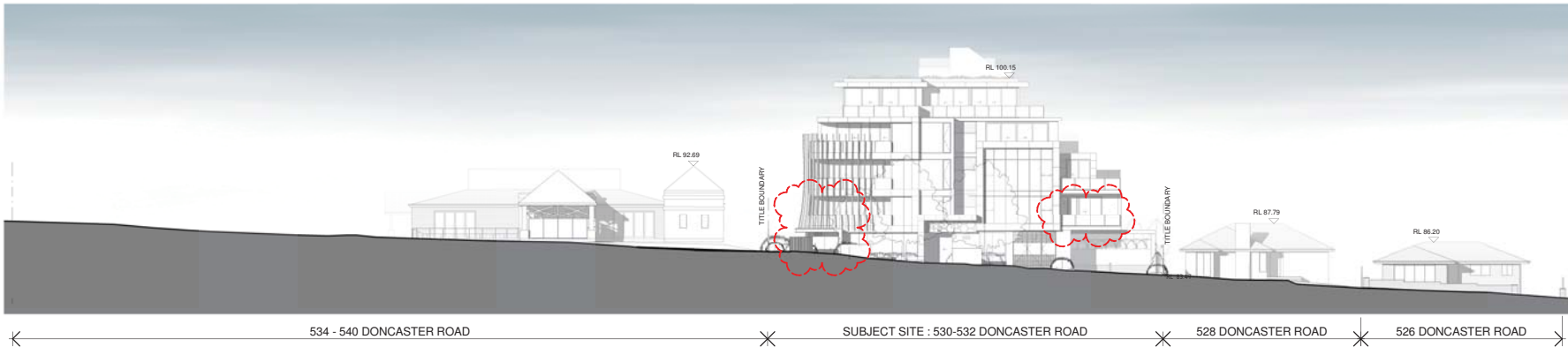


S.P.O.S. 2/19 CARAWATHA RD
 2 STOREY TOWNHOUSE

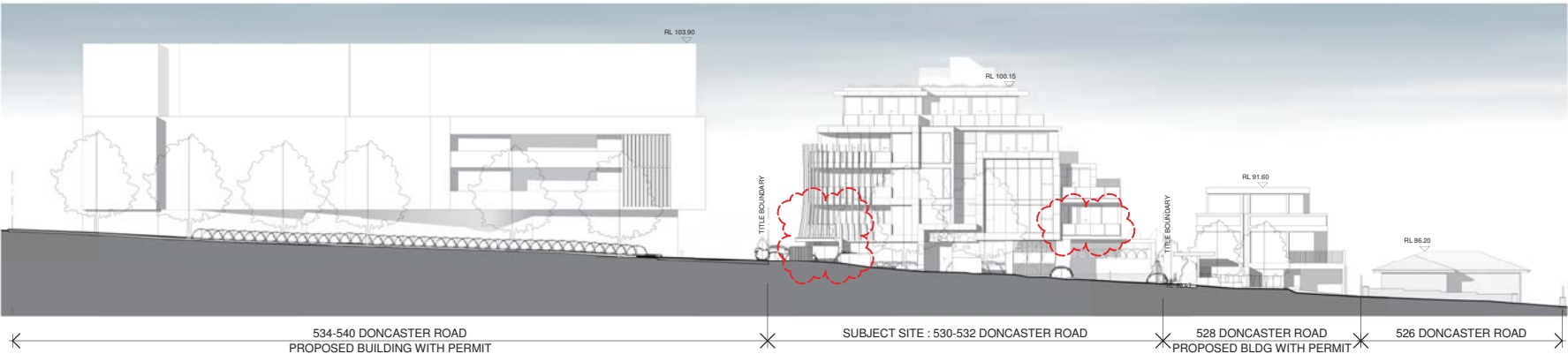
21 CARAWATHA RD
 P.O.S.

23 CARAWATHA RD
 ABANDONED
 CONSTRUCTION SITE
 LINE OF BUILDING

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DONCASTER ROAD STREETSCAPE ELEVATION WITH EXISTING ADJOINING BUILDINGS



DONCASTER ROAD STREETSCAPE ELEVATION WITH ADJOINING APPROVED BUILDINGS

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DRAWING TITLE
STREETSCAPE ELEVATIONS

PROJECT NO. 191171
 FILE
 SCALE 1 : 200@A1
 DRAWN DL

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TP12 3
 TOWN PLANNING ISSUE

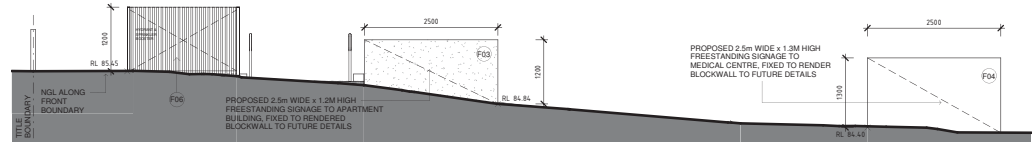
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SDA MEASURE NOTES

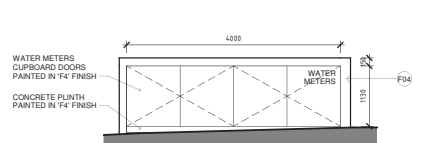
- MEASURES AS PROPOSED BY SUSTAINABLE MANAGEMENT PLAN PREPARED BY ARK RESOURCES, DATED 5 AUG 2020 INCLUDE:
- FLOOR BY FLOOR METERING PLUS INDEPENDENT METERING TO BE PROVIDED FOR ALL LOTS GREATER THAN 5 PER CENT OF ANNUAL BUILDING ENERGY USE AND METERING FOR COMMON WATER USE CONSUMING 10 PER CENT OF DEVELOPMENT'S WATER USE.
- HIGH PERFORMANCE GLAZING AND ENERGY EFFICIENT BUILDING SERVICES, APPLIANCE AND FIXTURES. REFER TO SDA REPORT FOR DETAILS.
- DEVELOPMENT TO ACHIEVE NATHERS AREA-WEIGHTED ENERGY RATING OF 4.5 STARS AND A MINIMUM INDIVIDUAL NATHERS ENERGY RATING OF 3.5 STARS FOR EACH APARTMENT. REFER TO SDA REPORT FOR DETAILS.
- WATER EFFICIENT FIXTURES, WITHIN ONE STAR OF BEST AVAILABLE AT TIME OF TENDER TO BE INSTALLED, ACHIEVING MINIMUM RATINGS WELLS & STRAIN TAPS, 4 STAR TOILETS, 3 STAR SHOWERS & ALUMIN.
- IRRIGATION TO BE WATER EFFICIENT SUB-SOIL DRIP SYSTEM WITH MOISTURE SENSORS AND TIMERS TO GROUND LEVEL LANDSCAPING.
- RAINWATER HARVESTING SYSTEM WITH A TOTAL STORAGE VOLUME OF 28,000 LITRES, 7,000 LITRES ALLOCATED FOR ONSITE DETENTION PURPOSES AND 21,000 LITRES FOR RE-USE, TO BE REUSED FOR TOILET FLUSHING IN ALL APARTMENT AND GROUND-LEVEL LANDSCAPE IRRIGATION.
- ALL OUTDOOR LIGHTING TO COMPLY WITH AS/NZS 1617 FOR LIGHT SPILL TO ADJACENT BOUNDARIES.



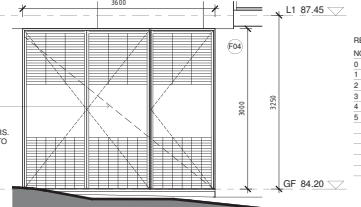
NORTH ELEVATION WITH ADJOINING APPROVED BUILDINGS
 SCALE 1 : 100



FIRE BOOSTER & SIGNAGE - NORTH ELEVATION
 SCALE 1 : 50



WATER METERS CUPBOARD - EAST ELEV.
 SCALE 1 : 50



SUBSTATION - NORTH ELEVATION
 SCALE 1 : 50

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EAST ELEVATION
 SCALE 1 : 100

EXTERNAL FINISHES SCHEDULE

- F01 SELECT METAL CLADDING WITH EXPRESSED JOINTS TO EXTERNAL WALL. COLOUR TO BE 'OFF WHITE'.
- F02 SELECT METAL CLADDING WITH EXPRESSED JOINTS TO EXTERNAL WALL. COLOUR TO BE 'CHARCOAL'.
- F03 RENDER AND PAINT FINISH TO EXTERNAL WALL. COLOUR TO BE 'RESENE "QUARTER NAPA" 9B191988.
- F04 RENDER AND PAINT FINISH TO EXTERNAL WALL. COLOUR TO BE 'RESENE "INDIGANT" N96-005-096.
- F05 SELECT DARK BROWN FACE BRICKWORK FINISH.
- F06 SELECT TIMBER LOOK METAL SLATS SCREENING.
- F07 DECORATIVE GREEN ACRYLIC PANELS AND BLACK POWDERCOATED ALUMINIUM FRAMES.
- F08 BLACK POWDERCOATED ALUMINIUM FINS.
- F09 SECTIONAL ROLLER DOOR WITH OPEN GRILLE PAINTED IN 'RESENE "INDIGANT" N96-005-096.
- F10 1.2M HIGH OBSCURE GLASS BALUSTRADE WITH 0.1M DEEP HORIZONTAL LOUVRE SCREENING.
- F11 1M HIGH OBSCURE GLASS BALUSTRADE WITH 0.7M HIGH BLACK LOUVRE SCREENING ABOVE LOUVRE SCREENING TO HAVE NO MORE THAN 20% TRANSPARENCY.
- F12 1M HIGH OBSCURE GLASS BALUSTRADE.
- F13 1M HIGH CLEAR GLASS BALUSTRADE.
- O1 OBSCURE GLASS PANEL.
- IG CLEAR INSULGLASS PANEL.
- O2 OPERABLE GLASS LOUVRES.

GENERAL NOTES

- A) ALL TYPICAL EXTERNAL DOORS AND WINDOWS TO BE MADE OF BLACK POWDERCOATED ALUMINIUM FRAMES UNLESS STATED OTHERWISE.
- B) ALL TYPICAL EXTERNAL WINDOWS AND GLAZED DOORS TO HAVE CLEAR GLASS UNLESS STATED OTHERWISE.
- C) ALL RAINWATER HEADS AND DOWNPIPES TO BE PAINTED TO MATCH ADJACENT WALL COLOUR UNLESS STATED OTHERWISE.
- D) ALL METAL DECK ROOFS AND OUTLETS TO BE COLORBOND WOODLAND GREY UNLESS STATED OTHERWISE.



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 DONCASTER**

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DRAWING TITLE
ELEVATIONS

PROJECT NO. 191171
 FILE SCALE As indicated@A1
 DRAWN DL
 DWG NO. 191171
 REVISION

TP13 5
 TOWN PLANNING ISSUE

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SOUTH ELEVATION WITH ADJOINING APPROVED BUILDINGS



WEST ELEVATION

REVISIONS

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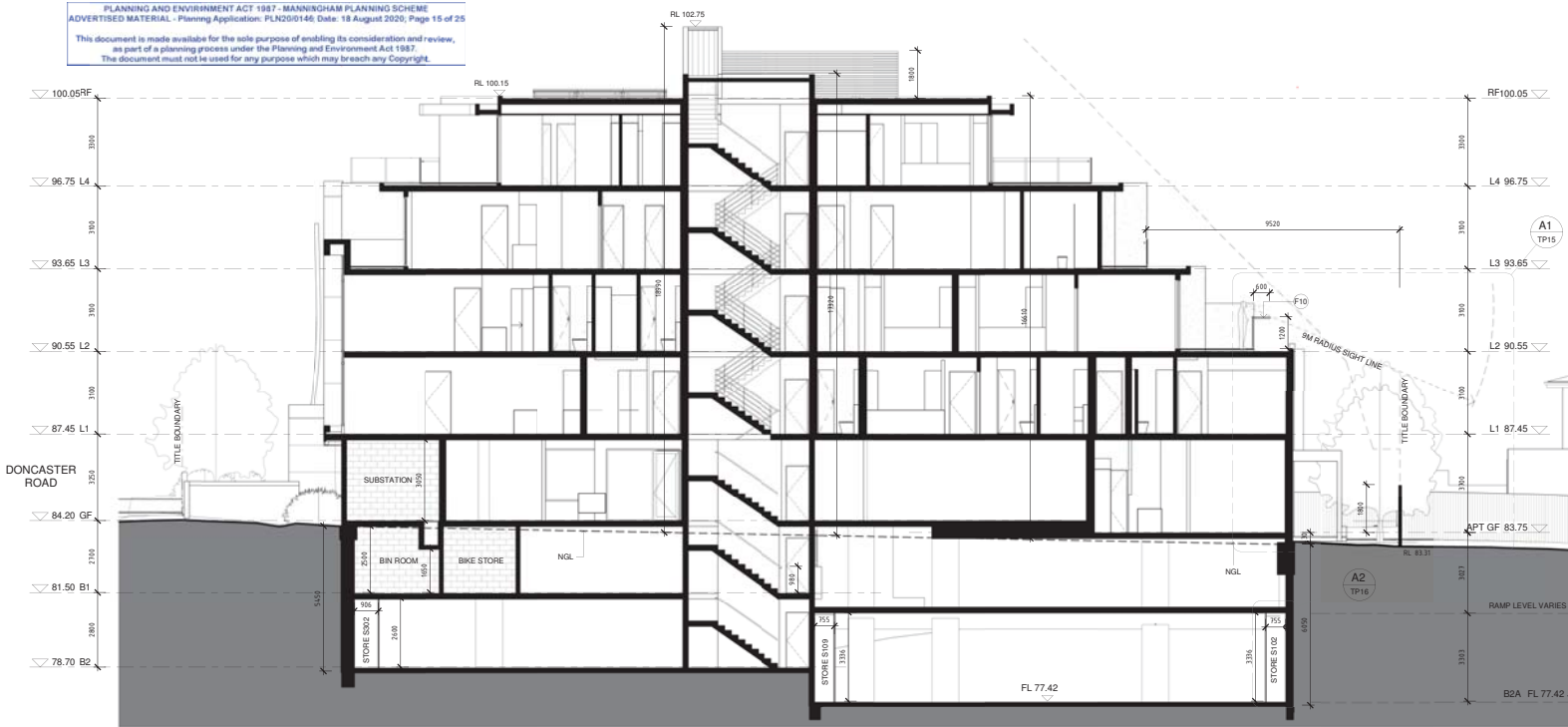
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ELEVATIONS

PROJECT NO. 191171
 FILE
 SCALE 1 : 100@A1
 DRAWN DL

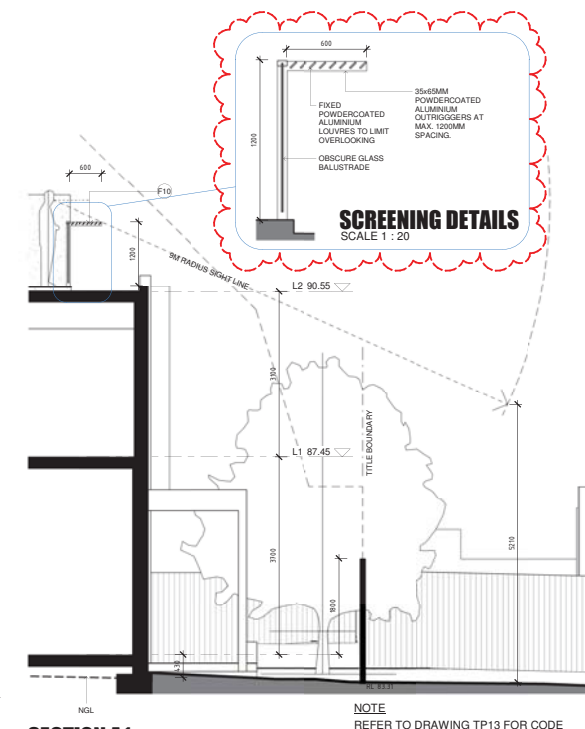
DWG NO. REVISION
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SECTION A-A
SCALE 1 : 100

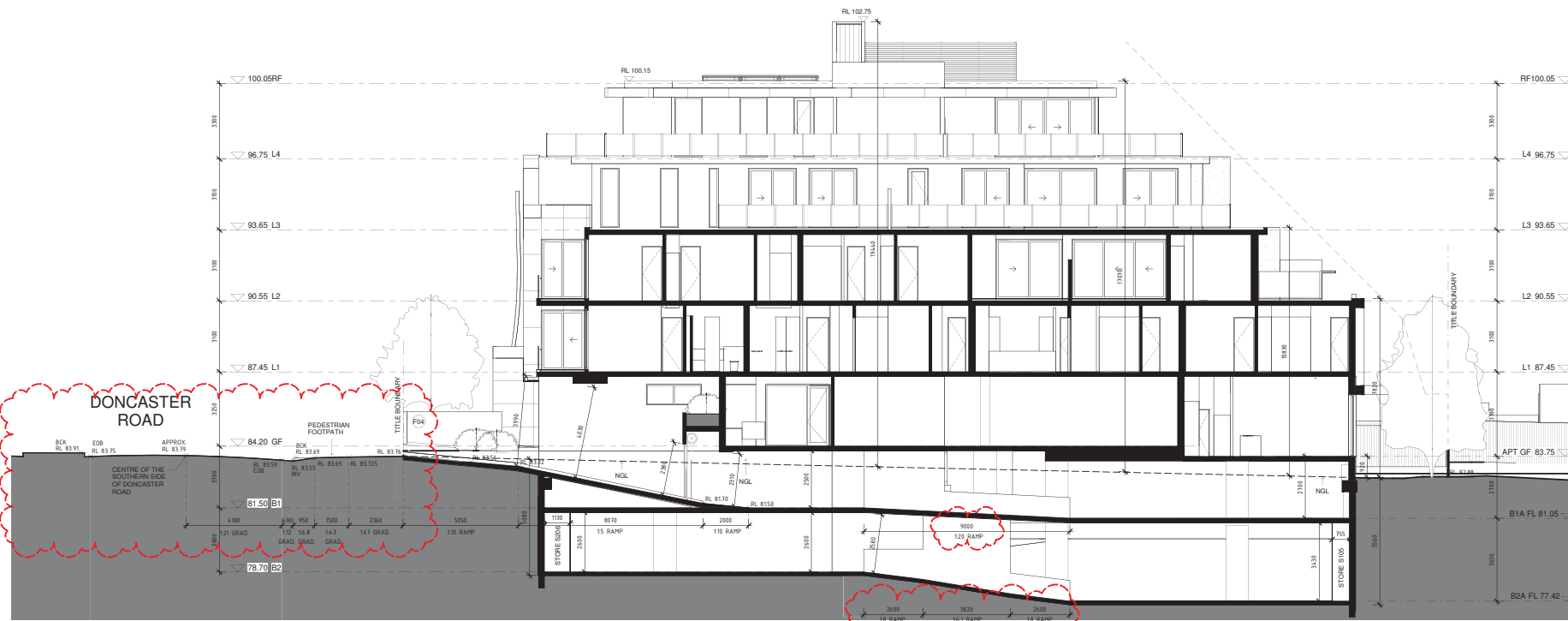


SECTION A1
SCALE 1 : 50

NOTE
REFER TO DRAWING TP13 FOR CODE REFERENCES FOR EXTERNAL FINISHES SCHEDULE, SDA MEASURE NOTES AND GENERAL NOTES.

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SECTION B-B
SCALE 1 : 100

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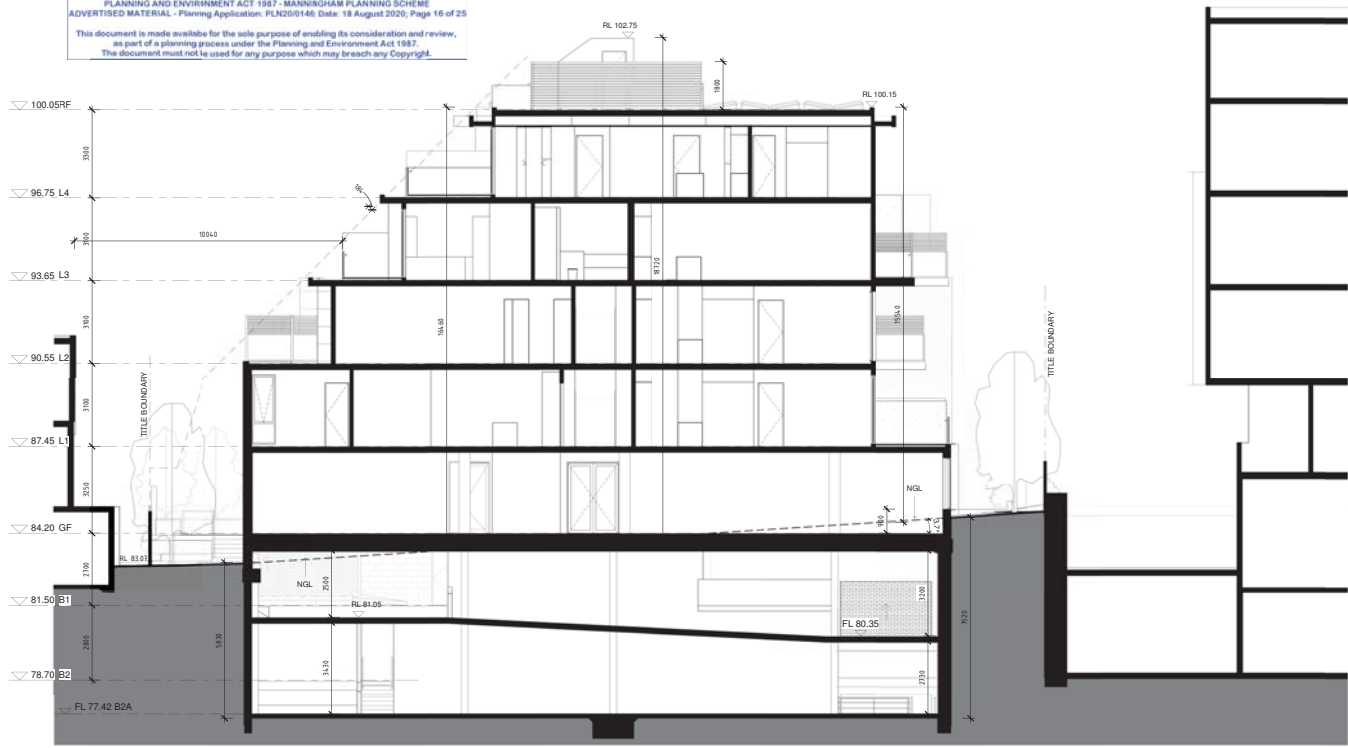
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PROJECT NO. 191171
 FILE
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 DWG NO. REVISION

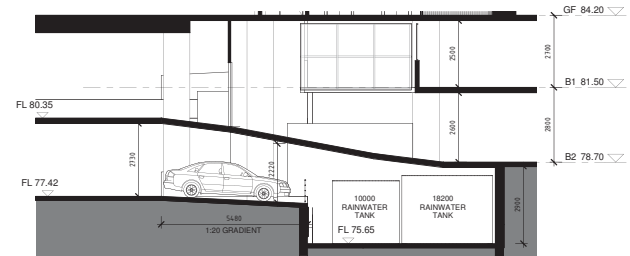
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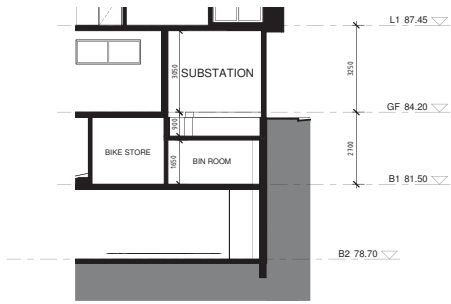
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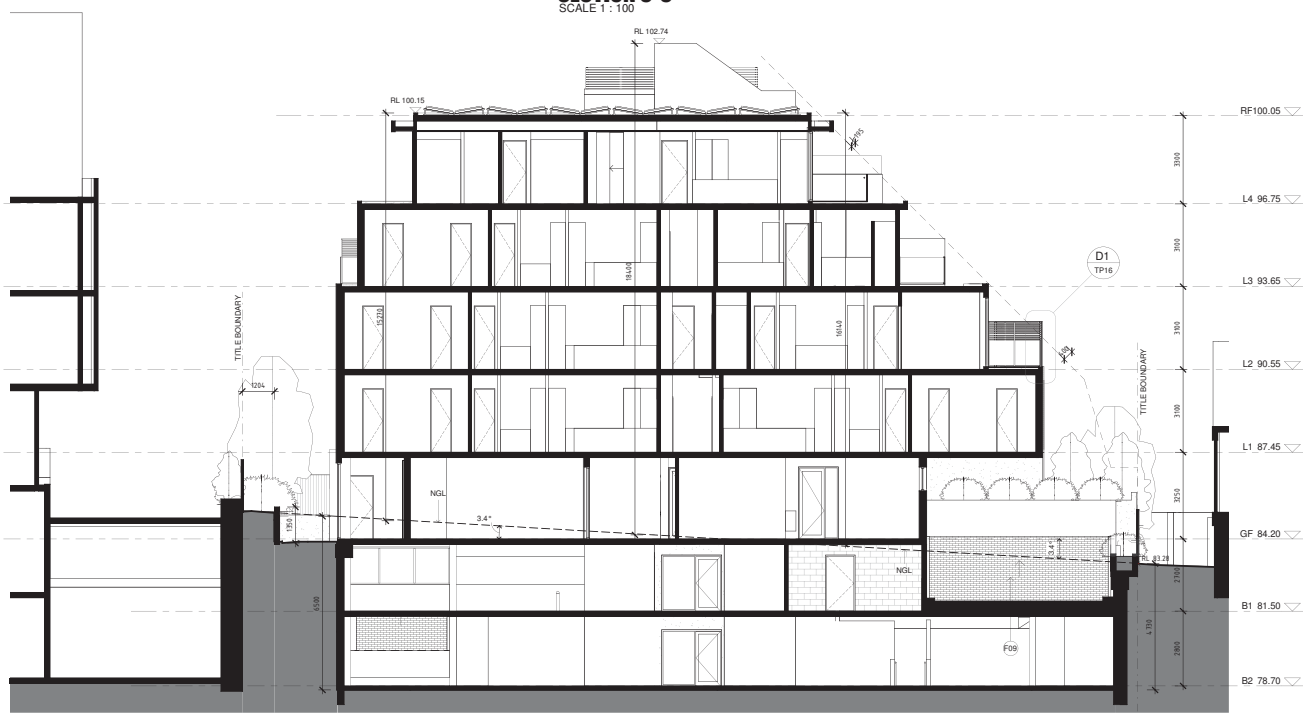
SECTION C-C
 SCALE 1 : 100



SECTION E-E
 SCALE 1 : 100



SECTION F-F
 SCALE 1 : 100



SECTION D-D
 SCALE 1 : 100

DETAIL D1 - SCREENING DETAILS
 SCALE 1 : 20

FIXED POWDERCOATED ALUMINUM LOUVRES TO LIMIT OVERLOOKING.

OBSCURE GLASS BALUSTRADE

NOTE: TOTAL SCREENING IS TO BE NO MORE THAN 20% TRANSPARENCY.

SECTION A2 - STORAGE CAGE
 SCALE 1 : 50

STORAGE CAGE WITH FULL HEIGHT ZINCALUME PERFORATED MESH PARTITIONS AND DOOR. IT WILL PROVIDE MORE PRIVACY WHILE ALLOWING FOR 50% VENTILATION.

STORAGE CAGE SIZE 6MP

FRONT VIEW OF STORAGE CAGE

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 530 - 532 DONCASTER ROAD,
 DONCASTER**

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SECTIONS

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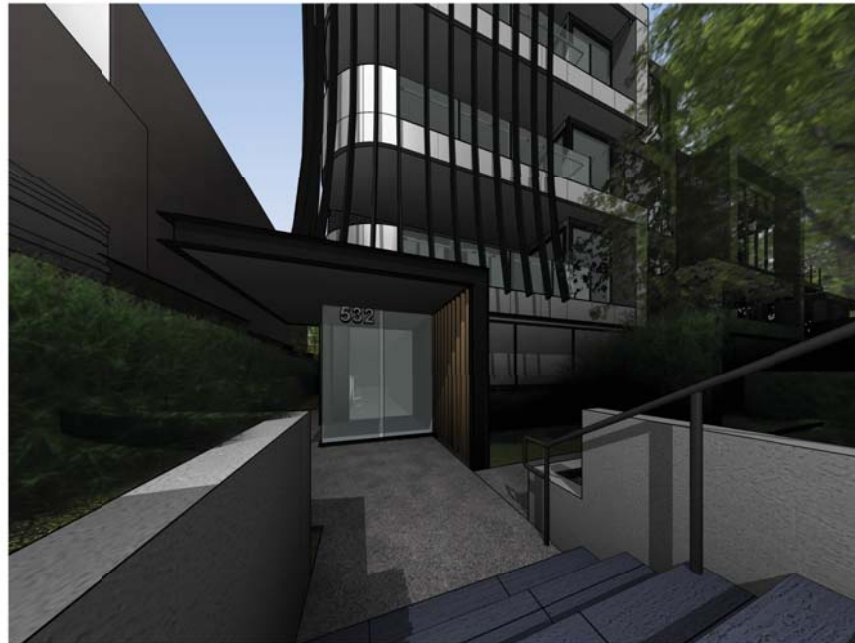
ARTIST'S IMPRESSION - VIEW FROM NORTH WEST CORNER



ARTIST'S IMPRESSION - VIEW FROM REAR SOUTH WEST CORNER



ARTIST'S IMPRESSION - ENTRANCE TO MEDICAL CENTRE



ARTIST'S IMPRESSION - ENTRANCE TO APARTMENT BUILDING

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4	04.11.20	COLOUR ADJUSTED IN PERSPECTIVE VIEW.

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DRAWING TITLE
ARTIST'S IMPRESSION

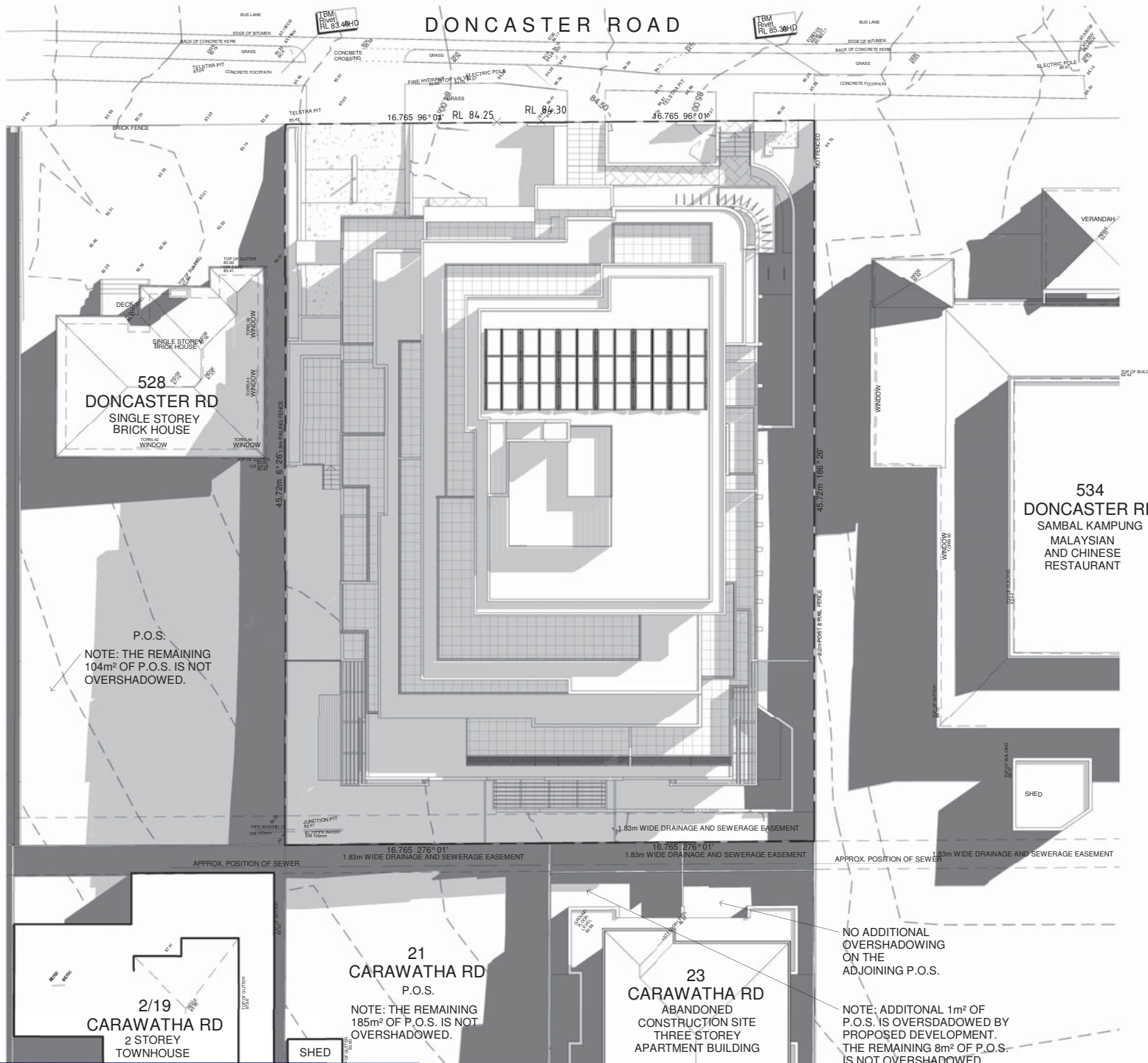
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LEGEND

- SHADOW CAST BY EXISTING BUILDINGS AND FENCES
- ADDITIONAL SHADOW CAST BY PROPOSED DEVELOPMENT

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DRAWING TITLE
**SHADOW DIAGRAM 1
9AM, 22 SEP**

PROJECT NO. 191171
FILE As indicated@A3
DRAWN DL

DWG NO TP18
REVISION 3
TOWN PLANNING ISSUE

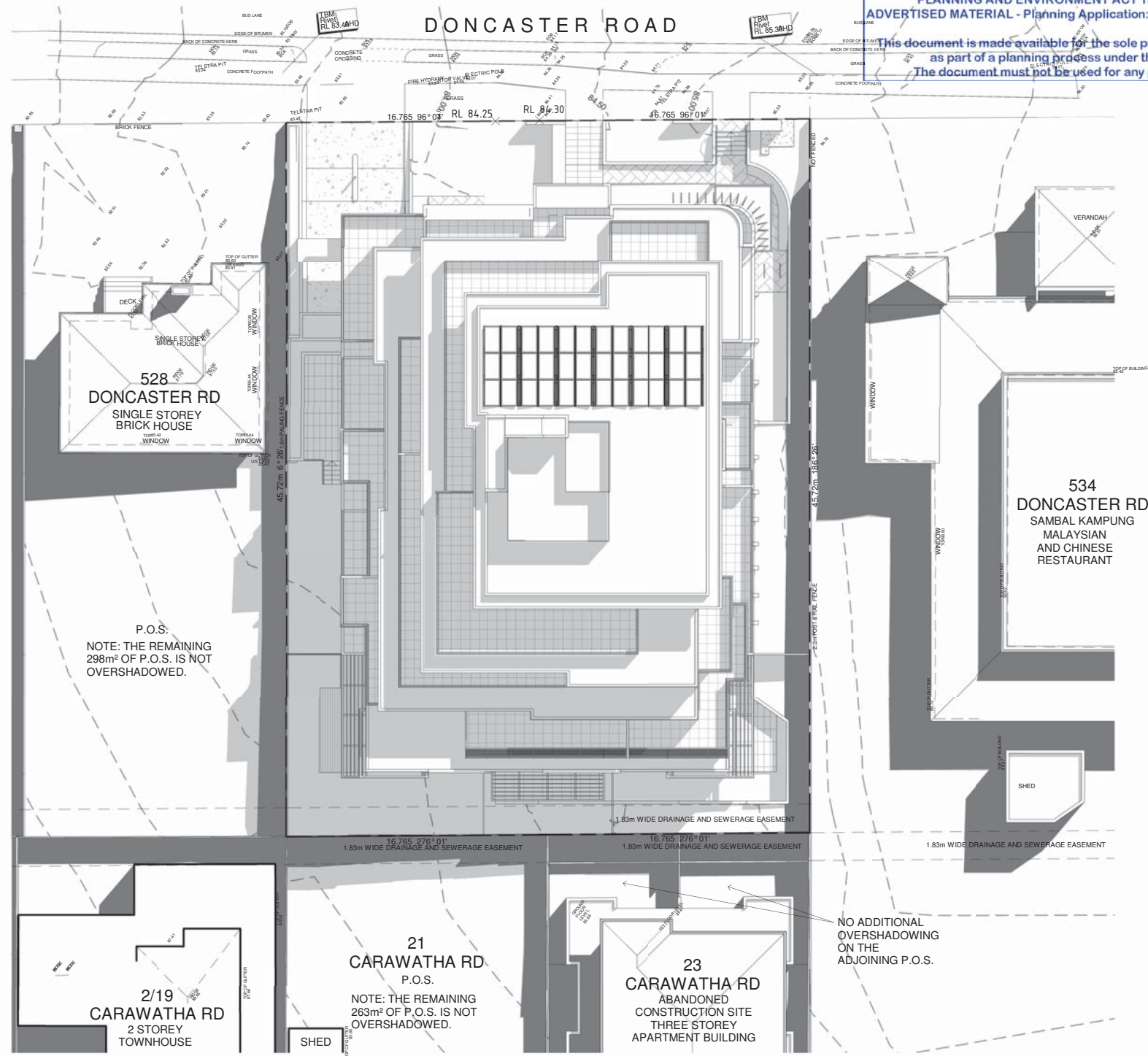
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SHADOW DIAGRAM 1
SCALE1 : 250

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- LEGEND
- SHADOW CAST BY EXISTING BUILDINGS AND FENCES
 - ADDITIONAL SHADOW CAST BY PROPOSED DEVELOPMENT

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DRAWING TITLE
**SHADOW DIAGRAM 2
 10AM, 22 SEP**


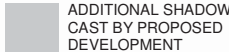
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SHADOW DIAGRAM 2
 SCALE1 : 250

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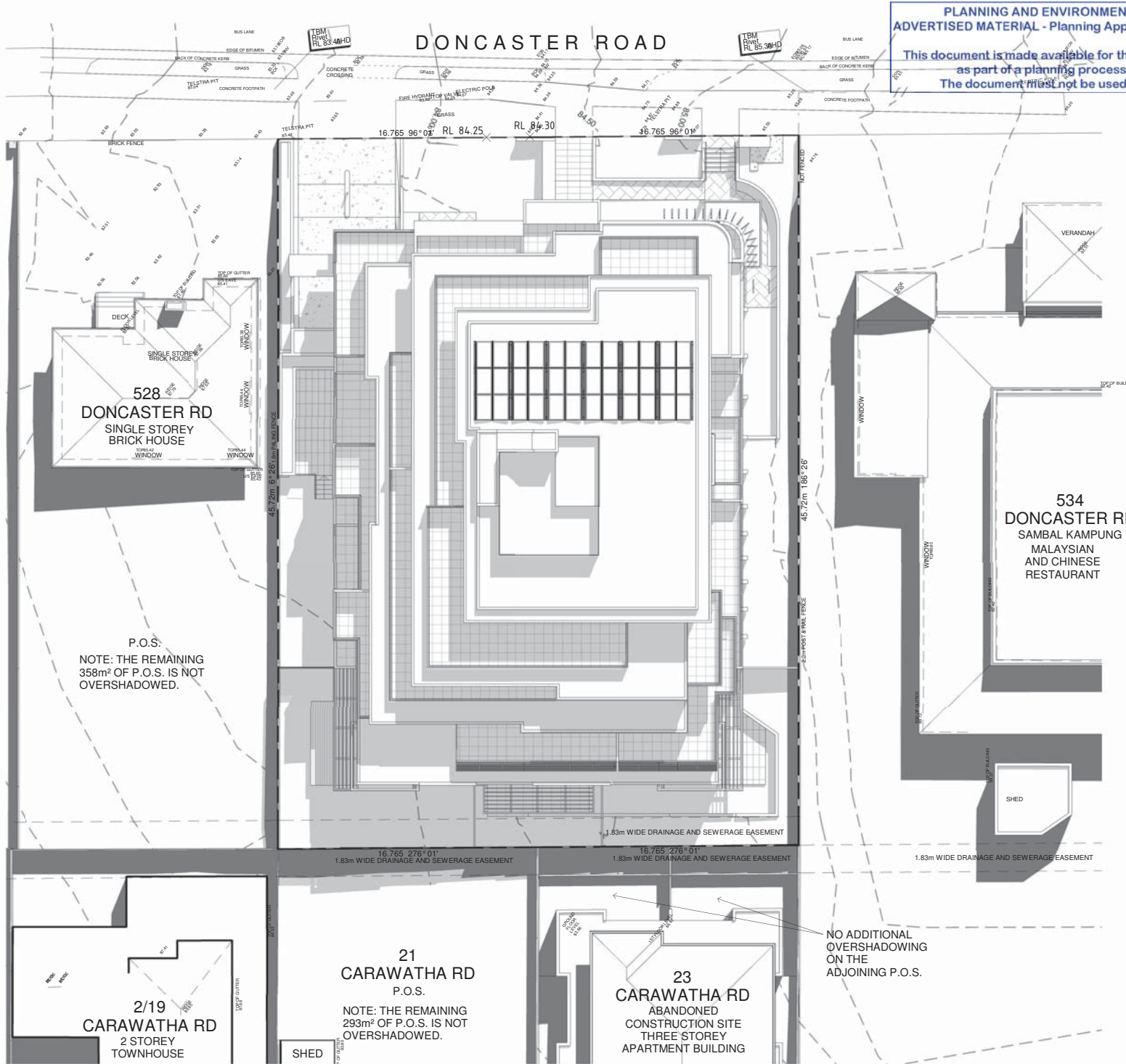
CLIENT:
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DRAWING TITLE:
**SHADOW DIAGRAM 3
 11AM, 22 SEP**

PROJECT NO. 191171
 FILE As indicated@A3
 DRAWN DL

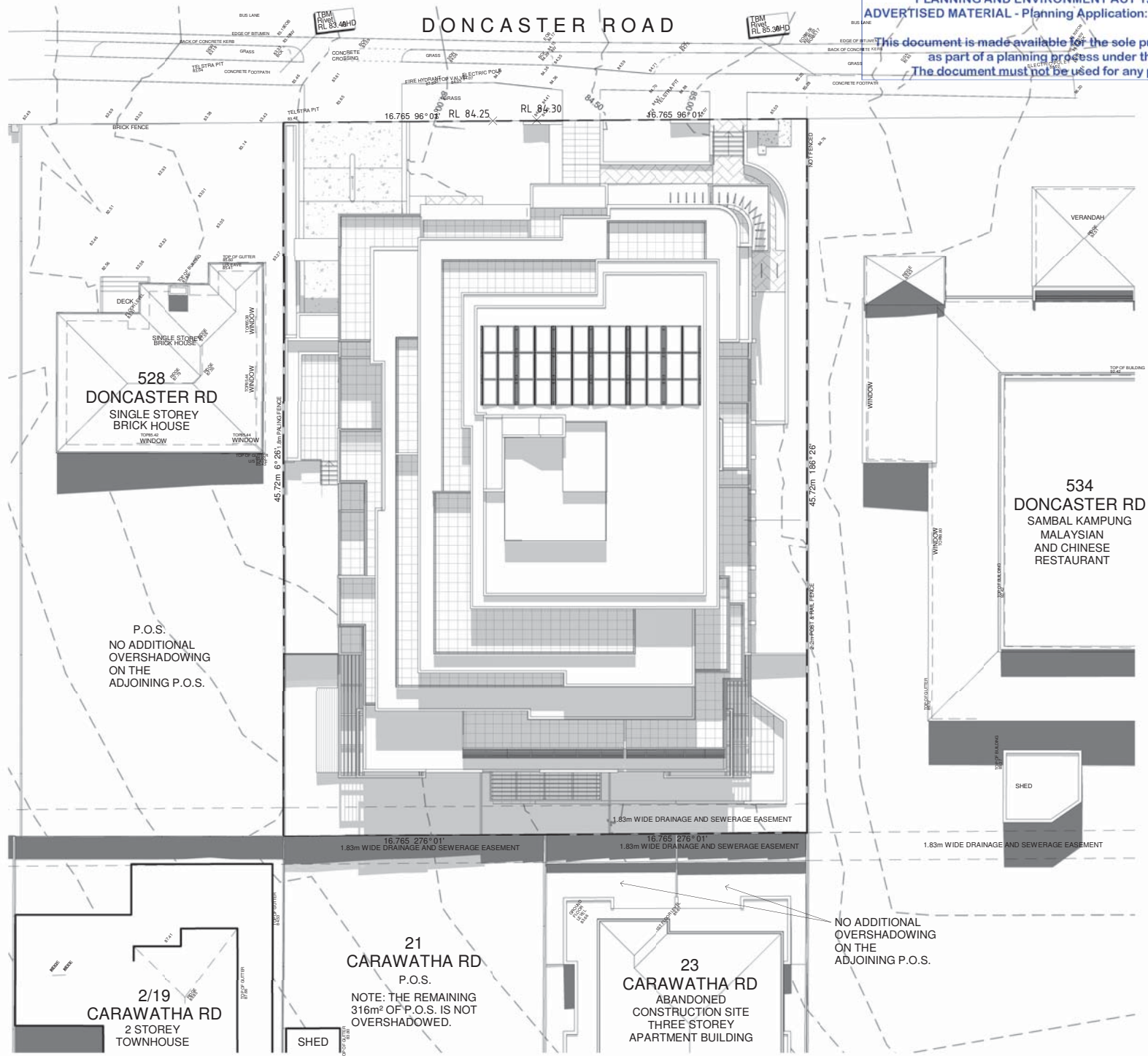
DWG NO. TP20
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SHADOW DIAGRAM 3
 SCALE 1 : 250

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- LEGEND
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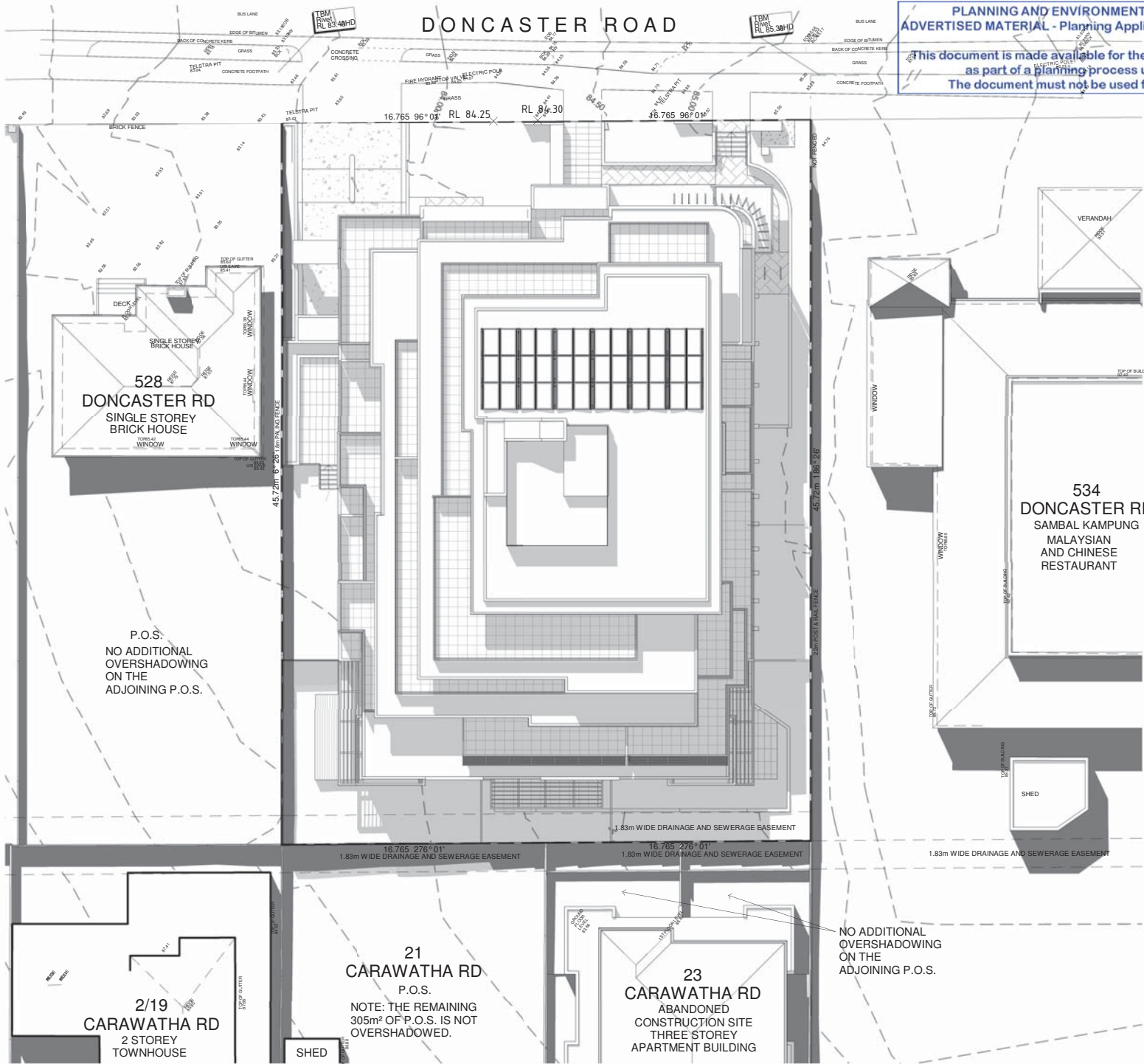
CLIENT
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DRAWING TITLE
**SHADOW DIAGRAM 4
 12NOON, 22 SEP**

PROJECT NO.	REVISION
191171	
FILE	As indicated@A3
SCALE	DL
DRAWN	
DWG NO	

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1	07.08.20	AMENDMENTS IN RESPONSE TO COUNCIL'S RFI.

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DRAWING TITLE
**SHADOW DIAGRAM 5
 1PM, 22 SEP**

PROJECT NO. 191171
 FILE As indicated@A3
 DRAWN DL
 DWG NO. REVISION

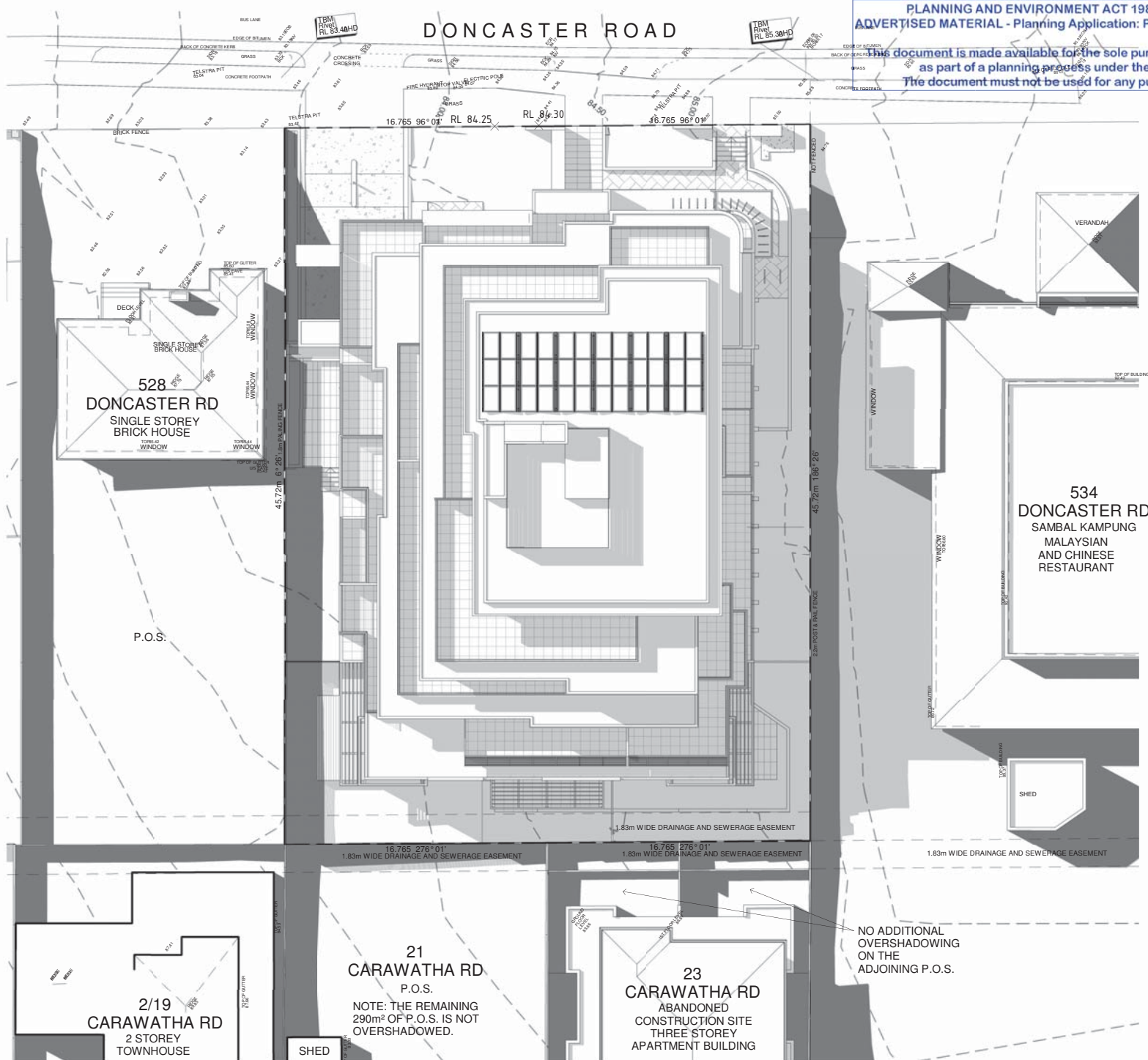
TP22 1

TOWN PLANNING ISSUE

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SHADOW DIAGRAM 5
 SCALE 1 : 250

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- LEGEND
- SHADOW CAST BY EXISTING BUILDINGS AND FENCES
 - ADDITIONAL SHADOW CAST BY PROPOSED DEVELOPMENT

REVISIONS

NO.	DATE	DESCRIPTION
0	01.07.20	AMENDMENTS IN RESPONSE TO COUNCIL'S RFI.
1	07.08.20	AMENDMENTS IN RESPONSE TO COUNCIL'S RFI.

STOLL
 ARCHITECTURE

99 DRUMMOND STREET
 CARLTON VICTORIA 3053
 T +613 9462 1191
 E ADMIN@STOLLARCHITECTURE.COM.AU

PROJECT NAME
**PROPOSED MIXED
 530 -532 DONCASTER ROAD,
 DONCASTER**

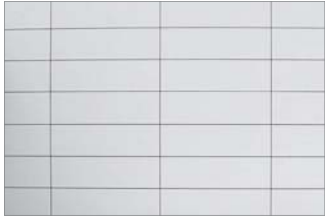
CLIENT
532 DONCASTER ROAD UNIT TRUST

DRAWING TITLE
**SHADOW DIAGRAM 7
 3PM, 22 SEP**

PROJECT NO. 191171
 FILE As indicated@A3
 DRAWN DL
 DWG NO. REVISION

SHADOW DIAGRAM 7
 SCALE 1 : 250

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F01 SELECT METAL CLADDING WITH EXPRESSED JOINTS TO EXTERNAL WALL. COLOUR TO BE 'OFF WHITE'.



F05 SELECT DARK BROWN FACE BRICKWORK FINISH.



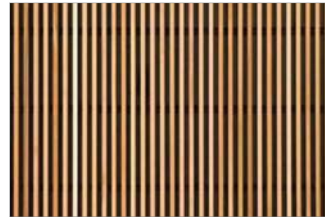
F09 SECTIONAL ROLLER DOOR WITH OPEN GRILLE PAINTED IN RESENE 'IRONSAND' N36-003-056.



F13 1M HIGH CLEAR GLASS BALUSTRADE WITH BLACK POWDERCOATED BALUSTERS.



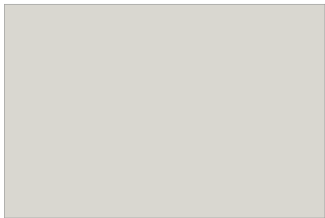
F02 SELECT METAL CLADDING WITH EXPRESSED JOINTS TO EXTERNAL WALL. COLOUR TO BE 'CHARCOAL'.



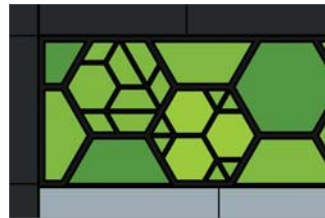
F06 SELECT TIMBER LOOK METAL SLATS SCREENING.



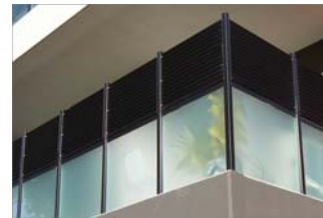
F10 1.2M HIGH OBSCURE GLASS BALUSTRADE WITH 0.6M DEEP HORIZONTAL LOUVRE SCREENING.



F03 RENDER AND PAINT FINISH TO EXTERNAL WALL. COLOUR TO BE RESENE 'QUARTER NAPA' Y81-013-083.



F07 DECORATIVE GREEN ACRYLIC PANELS AND BLACK POWDERCOATED ALUMINIUM FRAMES.



F11 1M HIGH OBSCURE GLASS BALUSTRADE WITH 0.7M HIGH BLACK LOUVRE SCREENING ABOVE. LOUVRE SCREENING TO HAVE NO MORE THAN 25% TRANSPARENCY.



F04 RENDER AND PAINT FINISH TO EXTERNAL WALL. COLOUR TO BE RESENE 'IRONSAND' N36-003-056.



F08 BLACK POWDERCOATED ALUMINIUM FINIS.



F12 1M HIGH OBSCURE GLASS BALUSTRADE WITH BLACK POWDERCOATED BALUSTERS.

REVISIONS	
NO.	DATE
0	01.07.20
	ISSUED FOR PLANNING APPLICATION.

STOLL
 ARCHITECTURE

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PROJECT NAME
 PROPOSED MIXED
 530 -532 DONCASTER ROAD,
 DONCASTER

CLIENT
 532 DONCASTER ROAD UNIT
 TRUST
 MATERIALS BOARD

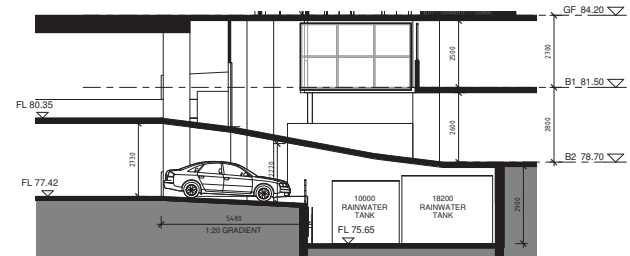
DWG NO	REVISION
TP25	0

TOWN PLANNING ISSUE

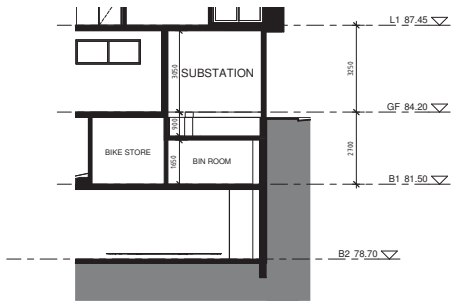
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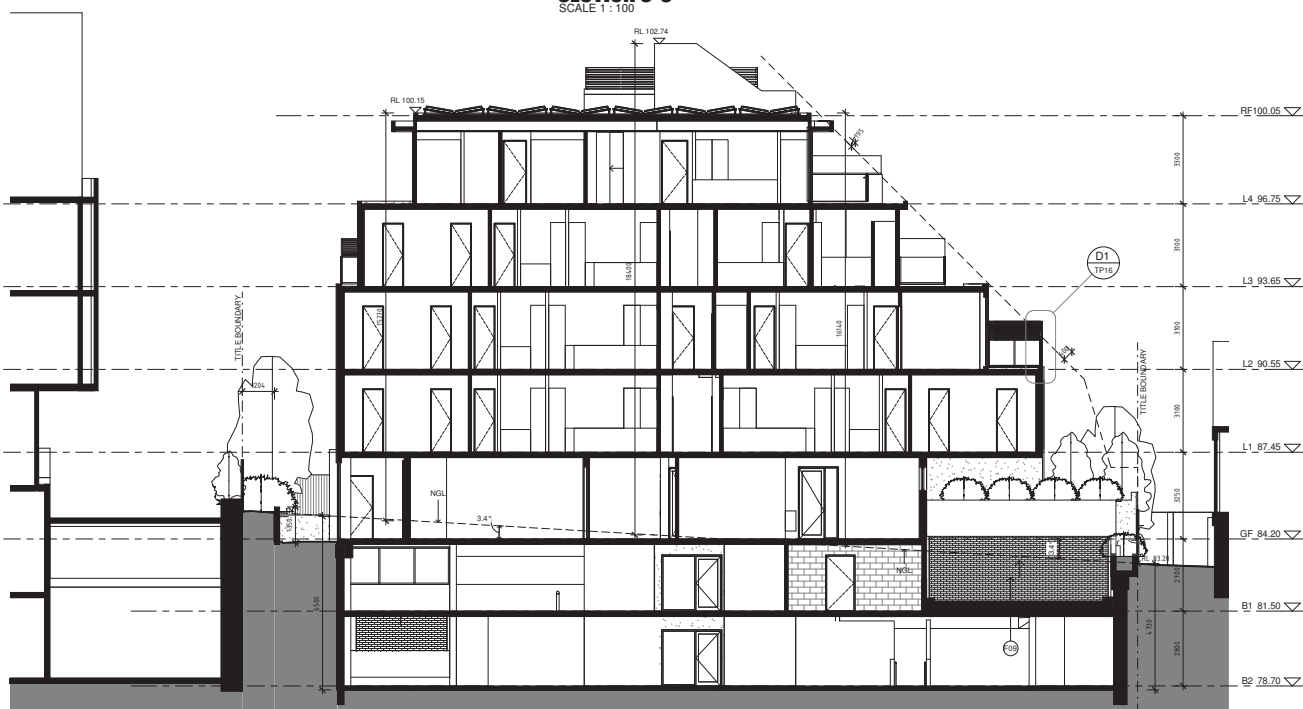
SECTION C-C
SCALE 1 : 100



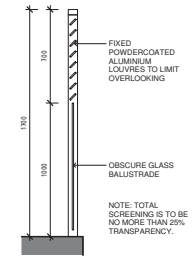
SECTION E-E
SCALE 1 : 100



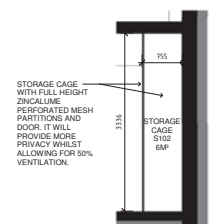
SECTION F-F
SCALE 1 : 100



SECTION D-D
SCALE 1 : 100



DETAIL D1 - SCREENING DETAILS
SCALE 1 : 20



SECTION A2 - STORAGE CAGE
SCALE 1 : 50



FRONT VIEW OF STORAGE CAGE

REVISIONS

NO.	DATE	DESCRIPTION
0	26.03.20	ISSUED FOR PLANNING APPLICATION
1	27.05.20	ISSUED FOR DISCUSSION
2	01.07.20	AMENDMENTS IN RESPONSE TO COUNCIL'S RFI
3	07.08.20	AMENDMENTS IN RESPONSE TO COUNCIL'S RFI
4	05.11.20	VERTICAL SUN ANGLE AT 3PM ADDED

STOLL
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PROJECT NAME
**PROPOSED MIXED DEVELOPMENT
530 - 532 DONCASTER ROAD,
DONCASTER**

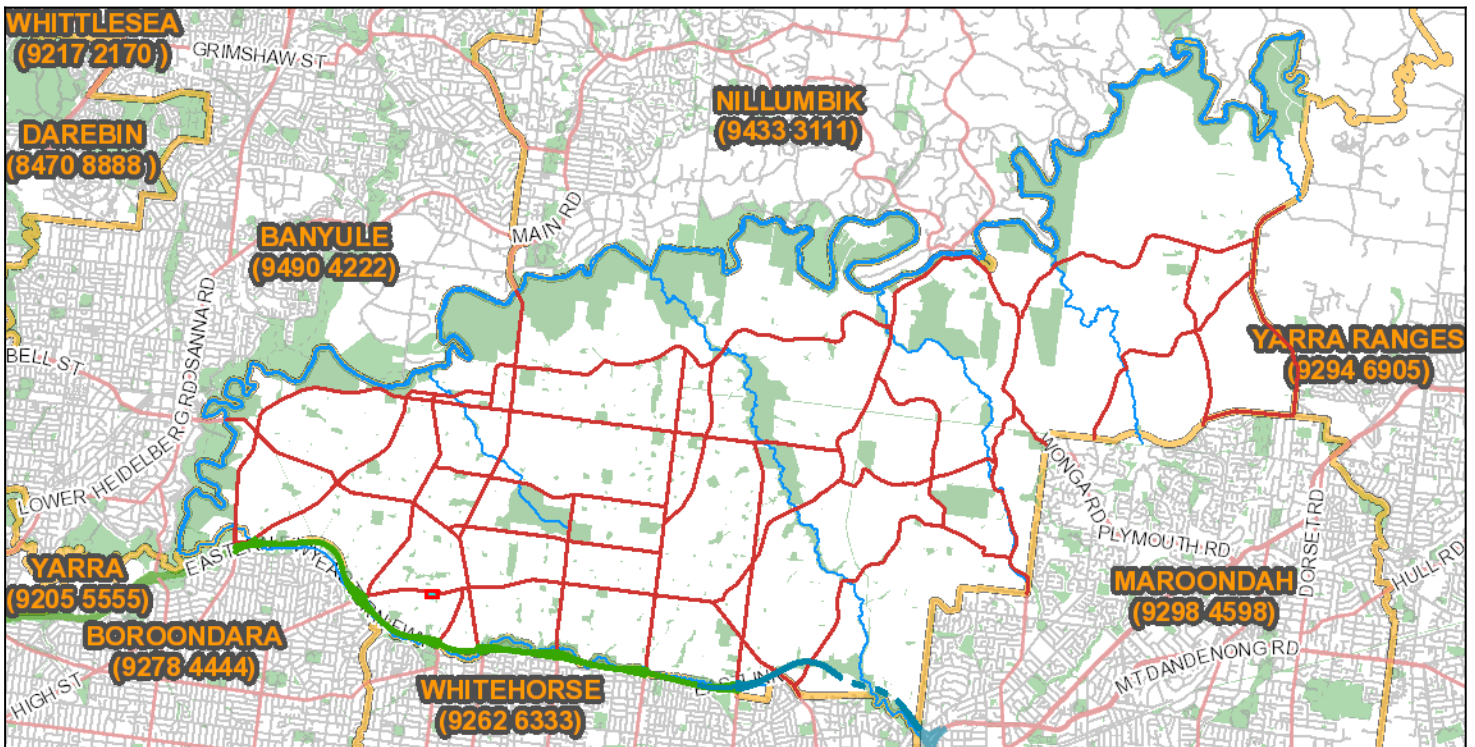
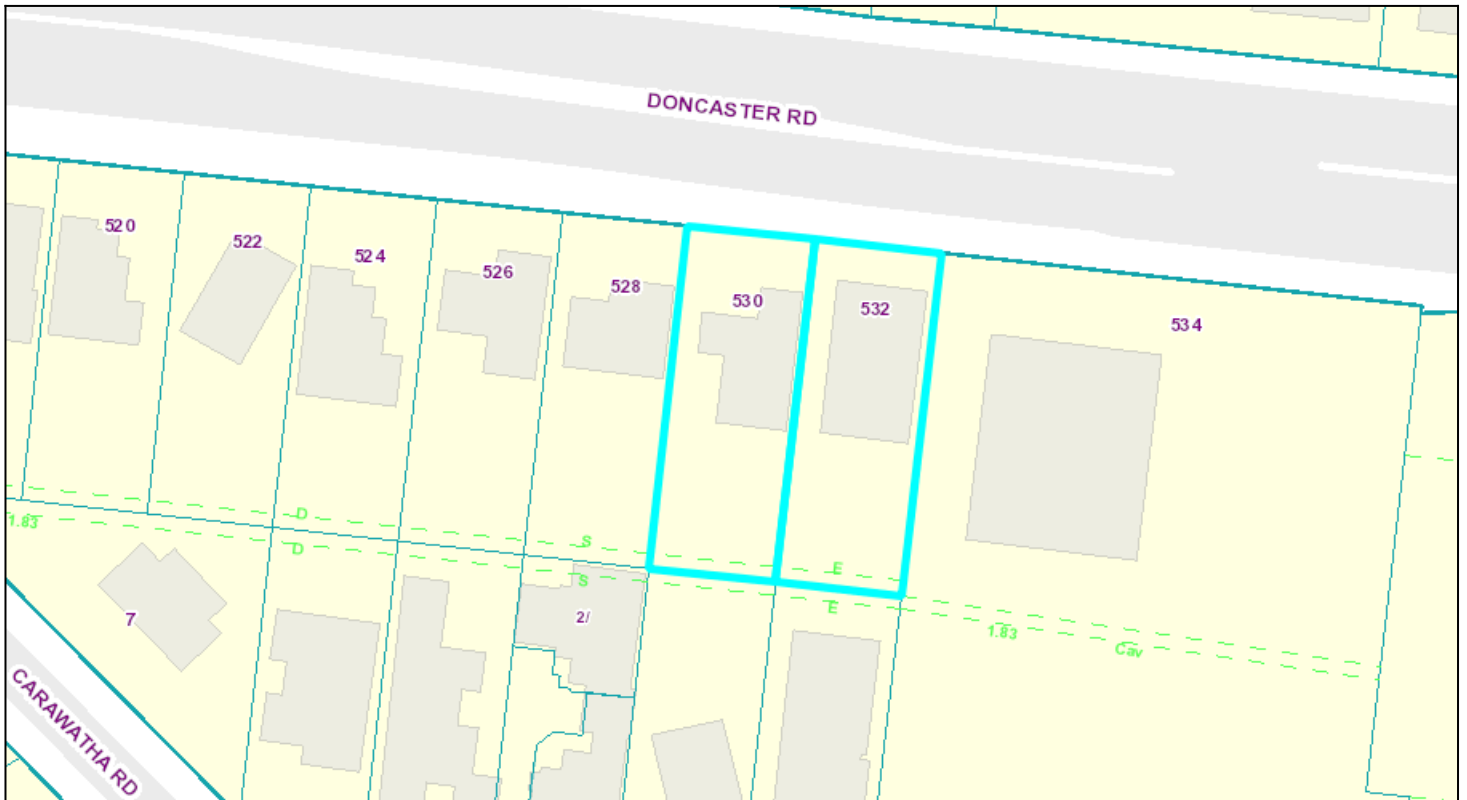
CLIENT
532 DONCASTER ROAD UNIT TRUST

DRAWING TITLE
SECTIONS

PROJECT NO. 191171
FILE SCALE As indicated@A1
DRAWN DL

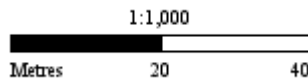
DWG NO. TP16
REVISION 4

TOWN PLANNING ISSUE



 **Subject Land** **Address:** 532 Doncaster Road, DONCASTER 3108

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Nov 9, 2020, 10:39 AM

